



## **DEVELOPMENT PROCESS**

The Village of Romeoville takes pride in being a development-friendly community. The Village has set up a process to guide projects through the system as quickly and efficiently as possible.

### **Project Manager**

A Project Manager will be assigned to your case. This individual will be your main contact, which includes representatives from the Village Administration, Community Development, Public Works, Finance, Fire, Police and Recreation Departments as well as the professional staff of engineers, planners, and attorneys meet each week to review and discuss projects.

### **Concept Plan**

A Concept Plan review is offered to provide quick input regarding a project and site plan. Within a couple of weeks of submitting a project, the staff, Development Review Committee, Planning and Zoning Commission, and Village Board will meet and provide input on your proposal.

### **Simultaneous Site & Building Reviews**

Building plans will be reviewed alongside site plans so that, as soon as the site plans are approved, permits will be issued and construction may begin.

### **Building Permit Process**

The Building Department recommends applying for all permits at once and naming a contact person to coordinate with the Village. The Village, however will work with a developer on separate permits for shell construction and build-outs if necessary to meet contractual obligations.

### **Application Materials**

Please reference the following forms when preparing to submit applications.

- Development Application
- Land Development Application Submittal Checklist
- Professional Fee Agreement

## Building Fees

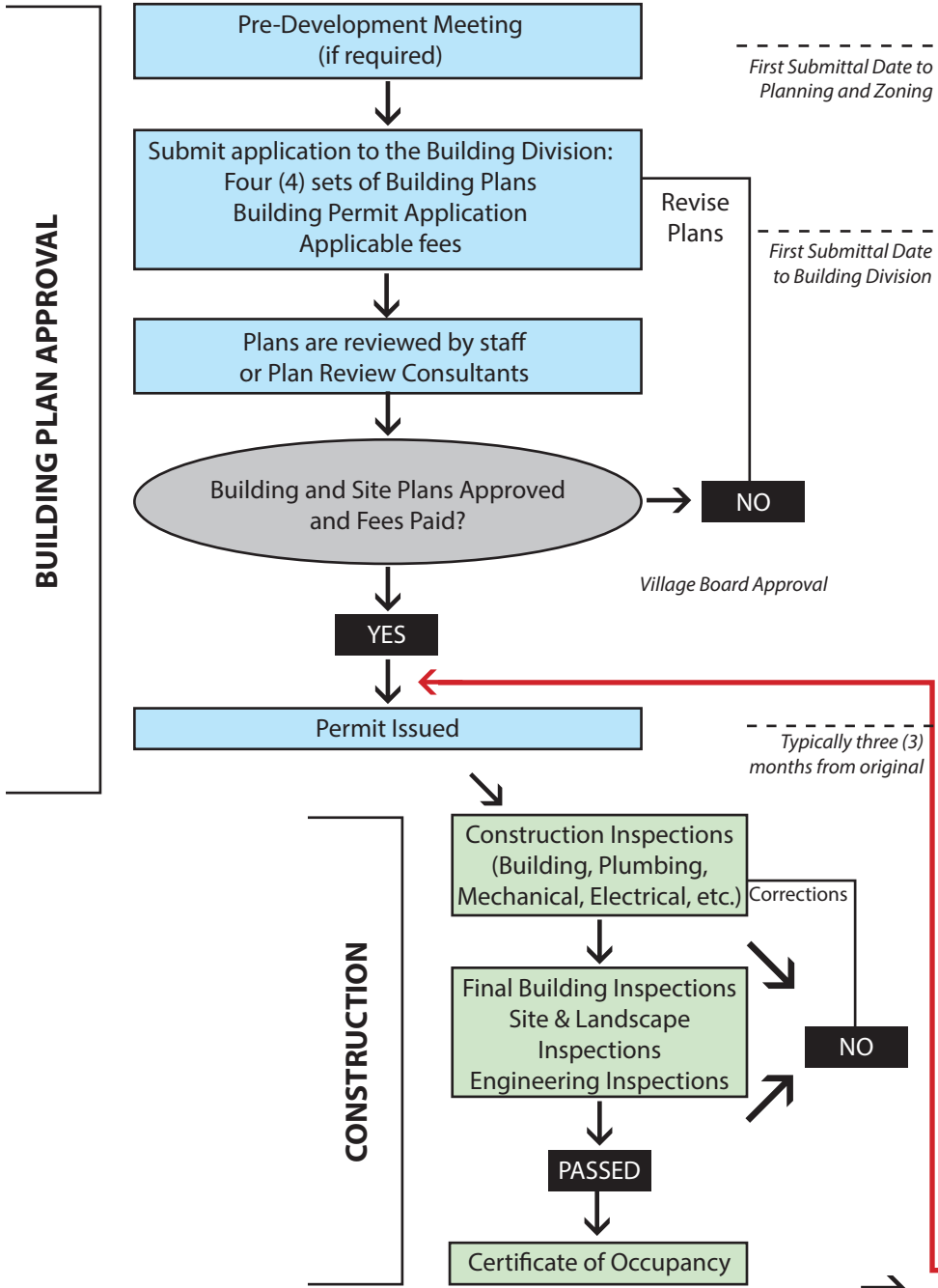
Permit - New Residential	The greater of \$1,250 or the computed permit fee utilizing the most recently published ICC Building Valuation Data Table, multiplied by a regional cost modifier of 1.05 and a permit fee modifier of .0075,
Permit - New-Non-Residential, Including expansions	Commercial/Industrial construction including remodel/build-out: The greater of \$5,000 or the computed permit fee utilizing the most recently published ICC Building Valuation Data Table, multiplied by a regional cost modifier of 1.05 and a permit fee modifier of .0075, respectively.
Commercial/Industrial RFP	3/4" = \$300, 1" = \$375, 1 1/2" = \$600, 2" = \$775, 3" = \$1,700, 4" = \$2,400
Water Backflow	3/4" = \$325, 1" = \$400, 1 1/2" = \$650, 2" = \$775, 3" = \$1,850, 4" = \$2,600
Construction Plan Review - Residential	Residential: \$500/Unit    Condominiums/Apartments: \$500/Unit Accessory Structures: \$50    Clubhouses: \$1,000  Building Additions: \$50
Construction Plan Review - Non-	In-House Review: \$0.16/sqft; Minimum \$1,200 Consultant Review: Consultant fee + \$200 Admin. Processing fee
Water Tap-On fees	Residential: \$4,000 Condominium/Apartment: \$440/P.E., minimum \$4,000 Commercial/Industrial Construction: \$440/P.E., minimum \$4,000
Sewer Tap-On Fees	Residential: \$4,000 Condominium/Apartment: \$440/P.E., minimum \$4,000 Commercial/Industrial Construction: \$440/P.E., minimum \$4,000
Water Meter	3/4" = \$300, 1" = \$425, 1 1/2" = \$575, 2"(compound)= \$675, 3"(compound)= \$1,725, 4"(compound) = \$2,775
Plumbing	New Residential: 15% of Building Fee Non-Residential: \$500
Electrical	New Residential: 15% of Building Fee Non-Residential: \$500
HVAC	New Residential: 15% of Building Fee Non-Residential: \$500
Elevator	\$75
Racking Systems	Multiply total cost of the racking system by .0045, minimum of \$250
This page provides a summary of the fees. Please refer to the Village of Romeoville Code of Ordinances - Chapter 43 for a list of all applicable fees.	

## Planning & Zoning Fees

Annexation Agreements	As per Village's Professional Service Agreement		
Annexation & Zoning	\$200 / acre, minimum \$2,000		
Concept Plan	<u>Less than 10 acres</u> \$500 (First Review) \$250 (Subsequent)	<u>10 - 70 Acres</u> \$750 (First Review) \$250 (Subsequent)	
Rezoning	\$1,000 + Notices		
Special Use Permit	\$1,000 + Notices		
Planned Unit Development (General or Final)	<u>Less than 10 acres</u>  <b>Non Residential</b> \$2,500 + notices (Max 3 reviews) \$1,000 (Subsequent reviews)	<u>10 - 70 Acres</u>  <b>Non Residential</b> \$4,000 + notices (Max 3 reviews) \$1,500 (Subsequent reviews)	<u>Over 70 Acres</u>  <b>Non Residential</b> \$6,000 + notices (Max 3 reviews) \$2,500 (Subsequent reviews)
	<b>Residential</b> \$2,500 + \$50 per dwelling unit + notices (max 3 reviews) \$1,000 (Subsequent reviews)	<b>Residential</b> \$4,000 + \$50 per dwelling unit + notices (max 3 reviews) \$1,500 (Subsequent reviews)	<b>Residential</b> \$6,000 + \$50 per dwelling unit + notices (max 3 reviews) \$2,500 (Subsequent reviews)
Site Plan	<u>Less than 10 acres</u> \$1,500 (For 3 reviews) \$750 (Subsequent)	<u>10 - 70 Acres</u> \$2,500 (For 3 reviews) \$1,000 (Subsequent)	<u>Over 70 Acres</u> \$3,500 (For 3 reviews) \$1,500 (Subsequent)
	<b>Not Required If PUD</b>		
Landscape Plan	<u>Less than 10 acres</u> \$750 (For 3 reviews) \$325 (Subsequent Reviews)	<u>10 Acres or Larger</u> \$1,000 (For 3 reviews) \$500 (Subsequent Reviews)	
	<b>Not Required If PUD</b>		
Engineering Plan	<b>In Romeoville</b> - 4.5% of engineering improvement cost estimate (Upon Application, 3% of proposed cost is due)	<b>Out of Romeoville</b> - 6% of engineering improvement cost estimate (Upon Application, 3% of proposed cost is due)	
Plat (Preliminary or Final)	<b>Non Residential</b> \$100 per acre; \$1,000 minimum	<b>Residential</b> \$100 per acre + \$30 per dwelling unit; \$1,000 minimum	
Zoning Variance	<b>Single Family</b> - \$150 + notices		<b>Other</b> - \$1,000 + notices

# BUILDING DEPARTMENT PROCESS

# PLANNING AND ZONING PROCESS



**CONCURRENT TIME LINE**

