

Romeoville Reinvestment Program

Residential Improvement Application - Covered Porches

Goal of Program: The Reinvestment Program is designed to provide financial incentives that encourage homeowners to reinvest in their property by making exterior improvements. Benefits include improving the appearance of the neighborhood, increasing property values and reduced costs to homeowners.

Application Process: Please complete all pages of this application. This information is needed to determine your eligibility for the Romeoville Reinvestment Program. The property owner must be the applicant. Applications will be processed on a first-come, first-served basis, and budget funds available. Please see the program guidelines to ensure a complete application.

Are you a Senior Citizen? Yes No

Are you a Veteran? Yes No

What year was your home built? (Must be prior to 1980)

Please provide documentation of age verification, and Veteran status.

Eligibility:

- Homeowners of Single family homes and Town homes built prior to 1980. Must be owner occupied.
- Improvements cannot be part of an insurance claim or funding received from other Government agencies or charities.
- All property owners must be current with any governmental fees due, as well as in compliance with all Ordinances of the Village
- A project must enhance the front facade which is any side of the home facing a public street
- The proposed project must seek to improve the physical appearance of the structure(s)
- All improvements must be consistent with HOA Covenants & Restrictions
- Proposed improvements must be compatible with the neighborhood
- Incentives will only be issued for the time the applicant occupies the home. If the applicant sells the home and has not received the full tax abatement, no further abatement will be given

Veteran's or Seniors:

- Minimum age 62 or a person who has served in the U.S. Armed Forces and was discharged or separated under honorable conditions
-

Eligible Improvements:

- Covered Porches (Must be a minimum 5x10 and project cost must be a minimum of \$5,000)
-

Types of incentives offered:

- Covered Porches- \$500 will be given at certificate of occupancy. The remaining incentive will be given through a tax rebate on Village portion of tax bill, up to a total incentive not to exceed \$2,500

OR

- **Veteran's or Seniors:** Covered Porches- \$500 will be given at certificate of occupancy. The remaining incentive will be given through a tax rebate on Village portion of tax bill, up to a total incentive not to exceed \$3,500
- Permit fee waivers

Project Summary:

Have you applied for the Romeoville Reinvestment Program funding previously? Yes No

Amount Requested:

Residential Guidelines:

- The property must be owner occupied and not a rental property.
- All property owners must be current with any governmental fees due, as well as in compliance with all Ordinances of the Village.
- The Property Owner must submit a completed application and complete the approval process prior to beginning the project. **Any construction started before the application and approval process is completed will not be eligible for a Grant.** Property owner must submit application with all required additional information as requested on the application, including but not limited to:
 - > Color photos
 - > A description of requested improvements, and
 - > Cost estimates
- All applications will be reviewed in the order received.
- The Village of Romeoville will review the submitted request and determine if further information is needed.
- Once the request is approved, grant recipients will receive written notification of their award in the form of a commitment letter, along with a copy of the program's Contractual Obligations.
- Upon applicant signing and returning the Contractual Obligations document, construction can begin.
- Grantee must obtain any required permits needed.
- Work must be completed within six months.
- Once work is completed, a final inspection of the completed project is required. Final disbursement of grant funds is contingent upon applicant providing receipts for completed improvements and passing the final inspection.
- Residents may apply twice during the life of the Program. Applications can include multiple incentive requests.
- Residents receiving funds from other Government agencies or charities for the same improvements will not qualify.

NOTE: WORK THAT HAS BEEN COMPLETED PRIOR TO A ROMEOVILLE INVESTMENT PROGRAM COMMITMENT LETTER BEING EXECUTED CANNOT BE PAID FOR WITH GRANT PROCEEDS.

By signing my name below, I certify that I have read the above information. My signature also certifies my understanding of the program, guidelines and waiver.

Signature of Applicant: Date:

For Internal Use Only:

Date Received:

Qualifications Met: Yes No

Incentive Amount Approved: Yes No

Amount Approved:

If Approved, Vendor Forms Provided to Resident:

If Denied, reason for denial:

DECK BUILDING PERMIT APPLICATION

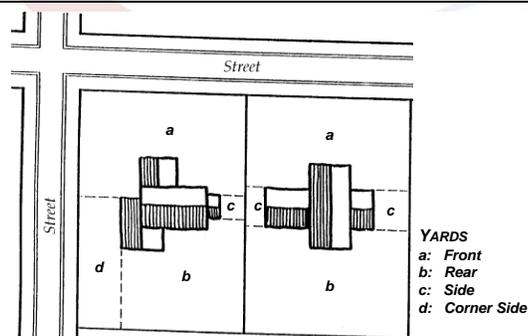
Application Date ____/____/____

Property & Owner Information			
Owner Name			
Phone			
Email Address			
Street Address	_____		
	Romeoville, Illinois 60446		
Subdivision & Lot #	Subdivision _____	Lot # _____	
Work Performed by Homeowner			
If you are doing the work yourself complete the <i>Property Owner's Acknowledgement of Responsibility</i> form.			
Contractor Information			
If you are using a contractor or sub-contractor, a copy of the signed contract shall be included with the application and the following information shall be provided. All contractors and sub-contractors doing work in Romeoville shall be registered, insured and bonded with the Village.			
Contractor Name		Village Registration No.	
Contractor Address (no P.O. Box)			
Contractor Phone		Email Address	
Who is the applicant?	<input type="checkbox"/> Owner <input type="checkbox"/> Renter <input type="checkbox"/> Contractor		
Who will be doing the work? Check all that apply.	<input type="checkbox"/> Self <input type="checkbox"/> General Contractor		
Who is the contact person?	<input type="checkbox"/> Homeowner <input type="checkbox"/> Contractor		
Estimated Cost	\$		

Office Use Only		<div style="border: 1px solid black; padding: 10px; text-align: center;"> Status Sticker OFFICIAL USE ONLY </div>
APPLICATION #:		
Application Date:		
Received By:		
Permit #:		

Site Requirements

Requirement	✓ to confirm that you have shown ...	Office Use
You shall submit a Plat of Survey or scaled plot plan which shows all structures on the lot, including the home, decks, porches, sheds, garages, pools, gazebos, etc. The structures shall be drawn to scale, labeled, and dimensioned. <i>Please refer to Page 3 for an example.</i>	all structures	
The deck shall be shown. It shall be labeled and dimensioned.	the proposed structure	
The deck may not be on an easement, except with the written permission of the Village and all utility companies having rights to the easement.	the structure not located on any easement	
The deck shall be not less than 5 feet from the side property line.	the distance to the side property line	
The deck shall be not less than 10 feet from the rear property line. <i>However, if the property is zoned R-5A (Hampton Park, Poplar Ridge & Honey Tree Unit 5,) the structure shall be at least 7 feet from the rear property line.</i>	the distance to the rear property line	
The deck may only be one story tall.	A single story deck	

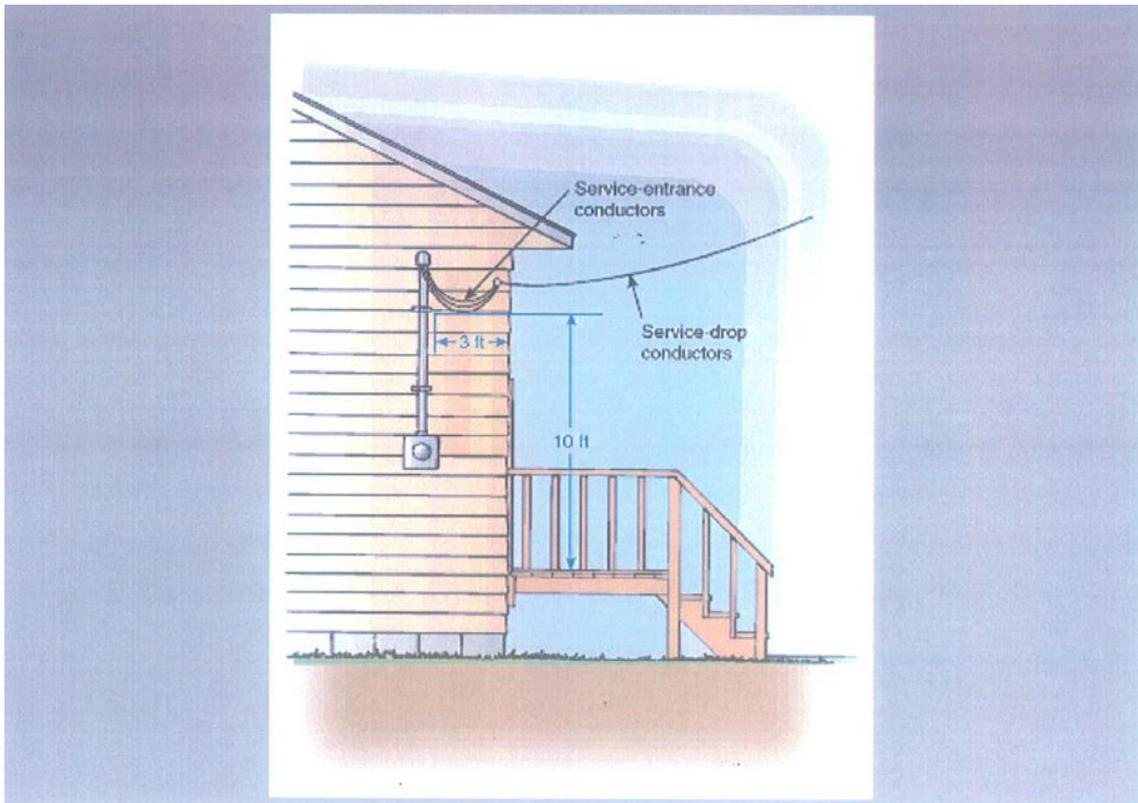
Requirements	Fill in the blanks.	Office Use
<p>If your deck is less than 36 inches from grade to finish floor, it may be located in the rear or side yard.</p> <p>If your deck is taller than 36 inches from grade to floor, it may only be located in the rear yard.</p>	 <p>How high is the decks walking surface from grade? _____ Inches</p> <p>In which yard is the proposed structure located? _____ Yard</p>	
In total, no more that 50% of the property can be covered with a building, structures or pavement.	<p>Size of proposed deck: _____</p> <p>% of lot covered with structures: _____%</p>	

Deck Construction Requirements

<p><i>Please read the requirements and place a ✓ in the column to the left to confirm that you understand.</i></p> <p><i>Please provide drawings for the deck layout (i.e. Home improvement printouts or hand drawings).</i></p>	Office Use
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General Requirements (Reference deck illustration pages 4-8 to answer questions below):	
1. Materials List (type of wood). _____	
2. The height of the deck above finished grade measured from the lowest part of the structure. A weed barrier and not less than 2 inches of ballast (i.e. gravel, stone etc.) shall be installed when the bottom of the deck is less than five (5) feet above grade. What is the finished height of the deck from grade? _____	
3. What is the thickness of the deck boards (floor)? _____	
4. What is the size and spacing of the deck joists? _____	
5. What size posts will be used? ____ The support posts shall be anchored to a concrete pier. The posts shall not be installed in a pier hole.	
6. What is the size and depth of the concrete piers that will be used? Diameter ____ Depth of pier ____ The pier not less than 42" below grade.	
7. What is the size and spacing for the support beams under the joists? _____ The joists cannot extend more than twenty four (24) inches past a beam.	
8. If the deck is attached to the house, provide an anchorage detail for the ledger board. Where a ledger board and joists are attached to a cantilevered wall the ledger and joists are required to be supported with frost protected piers, 4" x 4" posts, and a beam. Attached _____ Cantilevered wall _____ Detached _____	
9. A guard railing is required around a deck, when the deck walking surface is greater than twenty one (21) inches above finished grade. What is the height of the deck from finished grade? _____ Submit the height of the guard railing (Minimum guard height is 36" inches). _____	
10. Required guards shall not allow the passage of a 4" inch sphere between the balusters or between the intermediate rail and the deck floor. What is the spacing between balusters? _____	
11. The maximum tread riser height shall not be greater than 7 ³ / ₄ " inches. Tread riser height is _____.	
12. The minimum tread depth shall be not less than 10" inches measured from nosing to nosing. Tread depth is _____.	
13. Handrails shall be provided on each continuous flight of stairs with four or more risers. The handrail height shall be not less than 34" inches and not more than 38" inches in height measured vertically from the sloped plane adjoining the tread nosing. The balusters shall not allow the passage of a 4" inch sphere and a 6" inch sphere at the triangular openings formed by the riser, tread and bottom rail of the handrail.	
14. The stair stringers shall rest fully on a hard surface equal to the width of the staircase and shall extend 24" inches in front of the last tread. Three (3) stringers shall be installed for all staircases. The minimum width for a staircase shall be not less than thirty six (36) inches.	
15. If the deck is attached to a house with siding, the siding shall be removed around the ledger board. A corrosion-resistant flashing shall be installed over the ledger board. Provide a flashing detail. If the house is brick, provide an anchorage detail for the ledger board going into the brick.	
16. Posts shall not be set into the concrete footing (piers). Posts shall be positively anchored with an approved post bracket to prevent lateral displacement of the post at the pier (s) bottom connection.	
17. Knee braces shall be used to prevent the lateral movement of the deck at all four (4) corners.	
18. Solid bridging shall be installed at mid span for any deck that spans eight (8) feet or more in length.	

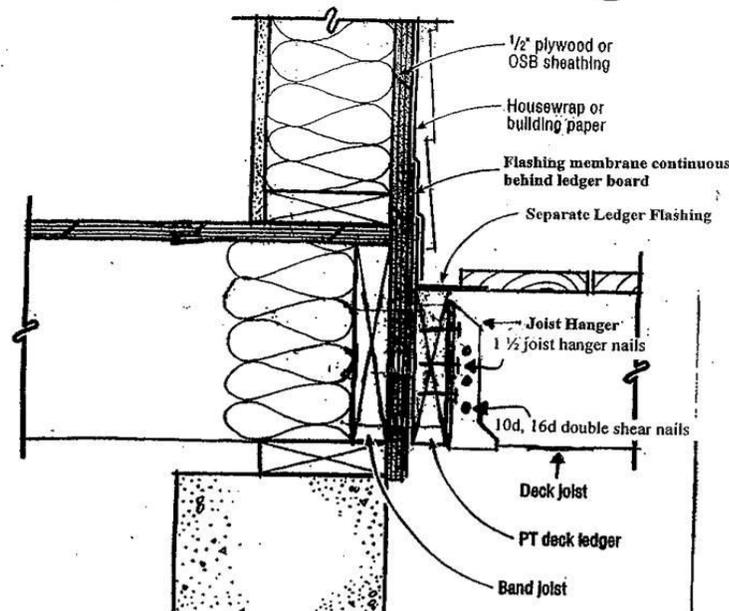
Electrical Requirements: (See below)



Electrical Service Wires at their lowest point needs to be not less than 10 feet above the standing surface of the deck and 3 feet horizontally from the furthest outer edge of the deck. Show on survey the location of the utility wires.

lle
Where Conscience Meets

Ledger Board Flashing Detail



Example of Double Shear Nailing

All nails and screws used for exterior decks shall be corrosion resistant. Stainless Steel, Galvanized Hot Dipped or zinc coated are only a few that are made specifically for exterior use.

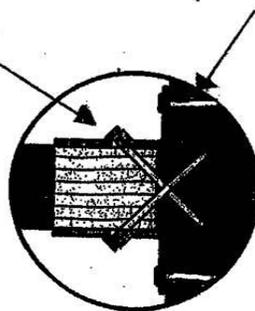
One and one half inch (1 1/2) joist hanger nails shall be used to attach the joist hanger to the ledger Board to minimize penetrations into the wall flashing.

10d or 16d nails shall be used for double shear nailing.

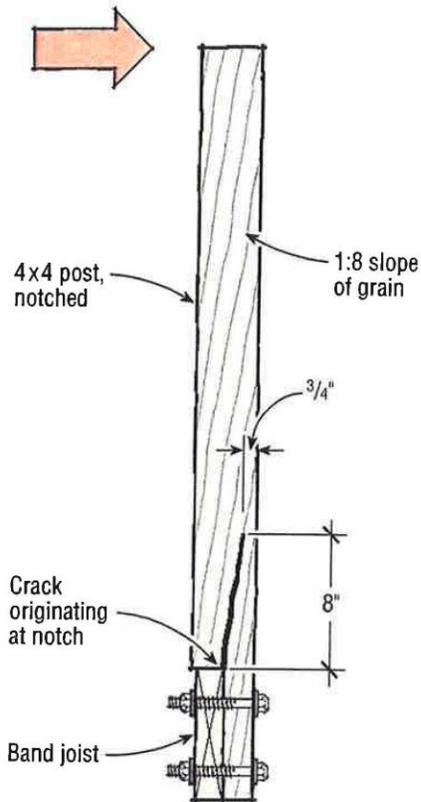
10d, 16d double shear nails

1 1/2 joist hanger nails

The nail is installed into joist and header, distributing load through two points on each nail for greater strength.



Why Not Notch?



Cracks will typically develop from the corner of a notch (photo, right). As a crack develops, a steep "slope of grain" can critically reduce the section of the post, as the drawing shows.

Several of the 4x4 posts we tested were notched around the band joist — a common detail in the field. While you might expect the notch to be the weak point in the connection, in fact none of the test posts failed at the notch. Even so, notching should be avoided, because it does substantially reduce the strength of the post. Here's why:

Many years of observation have proved that moisture cycles will typically cause cracks to develop and propagate, parallel to the grain, from the corner of the notch. This may not be apparent when the post is first installed, but it happens gradually over time.

According to the grading rules for lumber, a piece of 4x4 No. 2 southern pine can have a "slope of grain" of up to 1:8 (or 1 inch in 8 inches). If a 4x4 with a slope of grain of 1:8 is notched 1.75 inches deep, a crack propagated along the grain will reduce the 1.75-inch-thick section at the notch to only 3/4 inch at 8 inches above the corner of the notch — not something you'd want to bet your life on.



Permit & Inspection Requirements <i>Please read the requirements and place a ✓ in the box to the left to confirm that you understand.</i>	Office Use
<input type="checkbox"/> The Building Permit shall be posted in the building's window where it can be seen from the street. Each phase of construction shall be inspected and approved by the Village of Romeoville prior to proceeding to the next stage of construction. <input type="checkbox"/> • A post hole inspection shall be completed prior to the installation of the deck framing. <input type="checkbox"/> • A deck framing inspection is required. <input type="checkbox"/> • A final deck inspection is required. <input type="checkbox"/> • All inspections shall be scheduled 72 hours in advance by calling (815) 886-7200 or email buildinginspections@romeoville.org . Your permit number shall be provided when inspections are scheduled. <input type="checkbox"/> • Failure to call for required inspections may result in a “STOP WORK ORDER” . <input type="checkbox"/> • Should you fail an inspection, the failed inspection fee shall be paid before continuing work and before scheduling another inspection. INVOICED AFTER 5 DAYS <input type="checkbox"/> • A FINAL INSPECTION SHALL BE PERFORMED WHEN THE DECK HAS BEEN INSTALLED. Once the inspection passes, a Certificate of Completion will be issued. The deck may not be used until the Certificate of Completion has been issued. <input type="checkbox"/> The project shall start within ninety (90) days from the date the permit is issued and completed within one hundred and eighty (180) days.	

I hereby declare that I have read and understand this application. The above information and any attachments are correct. I agree, that in consideration of and upon issuance of a building or use permit, that I am allowed to do such work as herewith applied for, and that such premises shall be used only for such purposes as set forth above.

I hereby certify that I am the owner of record for the above named property or the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant: _____ Date: _____

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Approval & Review Status

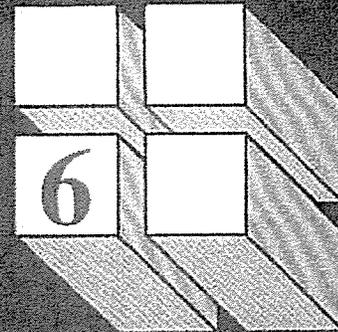
Building	Date Plans Received	
	Plans Examiner	
	Date Plans Approved	
	Plans Approved By	

Planning:	Date Plans Received	
	Plans Examiner	
	Date Plans Approved	
	Plans Approved By	

Clerical	Check for Outstanding Debt:	
	Contacted Date:	
	Person Contacted:	
	Contacted By:	

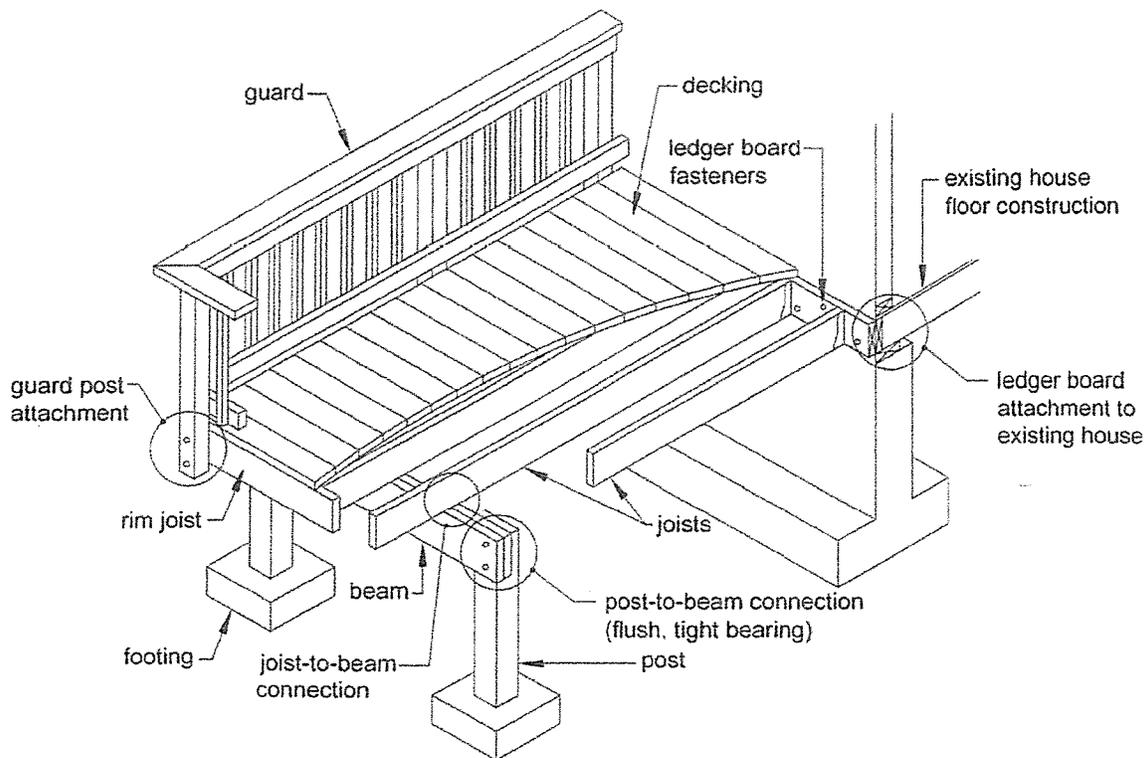
Notes	<p>“If the submittal made with this application does not include a stamped plan prepared by a licensed architect, any approval of this application or permit issued based on this application is hereby expressly made subject to field inspection and verification by Village Building Department inspectors to determine and verify the compliance of all completed work with all applicable ordinances, codes, standards and requirements of the Village”</p>
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Design for Code Acceptance



Prescriptive Residential Wood Deck Construction Guide

Based on the 2009 *International Residential Code*



Where applicable, provisions and details contained in this document are based on the *International Residential Code (IRC)* [bracketed text references applicable sections of the *IRC*]. Prescriptive construction methods recommended meet or exceed minimum requirements of the *IRC*. Provisions that are not found in the *IRC* are recommended as good industry practice. Where differences exist between provisions of this document and the *IRC*, provisions of the *IRC* shall apply. This document is not intended to preclude the use of other construction methods or materials. All construction and materials must be approved by the authority having jurisdiction. Every effort has been made to reflect the language and intent of the *IRC*. However, no assurance can be given that designs and construction made in accordance with this document meet the requirements of any particular jurisdiction.

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MINIMUM REQUIREMENTS

1. This document applies to single level residential wood decks only.
2. All lumber shall be identified by the grade mark of, or certificate of inspection issued by, an approved lumber grading or inspection bureau or agency (www.alsc.org). All lumber shall be a naturally durable species (such as Redwood or Western Cedars) or be pressure-treated with an approved process and preservative in accordance with American Wood Protection Association standards (such as but not limited to those shown in Table 1) [R317 and R318]. All lumber in contact with the ground shall be approved preservative treated wood suitable for ground contact. [R317.1.2]
3. All nails shall meet the requirements of *ASTM F 1667*. Threaded nails as stated in this document include helical (spiral) and annular (ring-shank) nails. Wood screws shall meet the requirements of *ANSI/ASME B18.6.1*. Bolts and lag screws shall meet the requirements of *ANSI/ASME B18.2.1*.
4. Throughout this document, ½" diameter bolts and lag screws are specified for various connections. Edge distance and spacing requirements are based on ½" diameter fasteners. If larger (or smaller) fasteners are specified, edge distance and spacing needs to be adjusted.
5. To resist corrosion, the following is required [R317.3]:
 - All screws, bolts, and nails for use with preservative treated wood shall be hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. Fasteners to be hot-dipped galvanized shall meet the requirements of *ASTM A 153, Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware, Class D* for fasteners 3/8" diameter and smaller or Class C for fasteners with diameters over 3/8".
 - Fasteners other than nails and timber rivets shall be permitted to be of mechanically deposited zinc-coated steel with coating weights in accordance with *ASTM B 695, Class 55*, minimum.
 - All hardware (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped prior to fabrication shall meet *ASTM A 653, Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process, G-185* coating. Hardware to be hot-dipped galvanized after fabrication shall meet *ASTM A123, Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products*.
 - Fasteners and connectors exposed to salt water or located within 300 feet of a salt water shoreline shall be stainless steel grade 304 or 316.
 - Other coated or non-ferrous fasteners or hardware shall be as approved by the authority having jurisdiction.
6. Decks supporting large concentrated loads such as hot tubs are beyond the scope of this document.
7. This document does not apply to decks which will experience snow loads, snow drift loads, or sliding snow loads that exceed 40 psf. This document does not address wind or seismic design issues.
8. Flashing shall be corrosion-resistant metal [R703.8] of minimum nominal 0.019-inch thickness or approved non-metallic material. Aluminum should not be used in direct contact with lumber treated with preservatives that contain copper such as ACQ, Copper Azole, or ACZA.
9. Decks shall not be used or occupied until final inspection and approval is obtained.
10. This document is not intended to preclude the use of other construction methods or materials not shown herein.

Table 1. Common preservative treatments and retention levels (pcf) for sawn lumber in ground contact.^a

Species	ACQ-B	ACQ-C	ACQ-D	CA-B	CuN-W
Southern Pine	0.40	0.40	0.40	0.21	0.11
Douglas Fir-Larch	0.40	0.40	NR	0.21	0.11
Hem-Fir	0.40	0.40	0.40	0.21	0.11
Ponderosa Pine	0.40	0.40	0.40	0.21	0.11
Red Pine	0.40	0.40	0.40	0.21	0.11
Spruce-Pine-Fir	NR	0.40	NR	NR	NR
Redwood	NR	NR	NR	NR	NR

^a Preservatives and retentions listed in Table 1 are based on the American Wood Protection Association (AWPA) *Book of Standards*. NR = Treatments Not Recommended.

DECKING REQUIREMENTS

All decking material shall be composed of dimension lumber (2" nominal thickness) or span rated decking in accordance with the American Lumber Standard Committee *Policy for Evaluation of Recommended Spans for Span Rated Decking Products (November 5, 2004)*. Attach decking to each joist with 2-8d threaded nails or 2-#8 screws. Space decking boards approximately 1/8" apart. See Figure 11 for decking connection requirements at the rim joist. Decking may be placed from an angle perpendicular to the joists to an angle of 45 degrees to the joists. Each segment of decking must bear on a minimum of 4 joists (or 4 supports).

Decking not meeting these requirements may be substituted when the product has been approved by the authority having jurisdiction.

JOIST SIZE

The span of a joist is measured from the centerline of bearing at one end of the joist to the centerline of bearing at the other end of the joist and does not include the length of the overhangs. Use Table 2 to determine joist span based on lumber size and joist spacing. See Figure 1 and Figure 2 for joist span types.

Table 2. Maximum Joist Spans (L_J)

Species	Size	Joist Spacing (o.c.)					
		Without Overhangs ¹			With Overhangs up to L _J /4 ²		
		12"	16"	24"	12"	16"	24"
Southern Pine	2x8	13' - 8"	12' - 5"	10' - 2"	10' - 9"	10' - 9"	10' - 2"
	2x10	17' - 5"	15' - 10"	13' - 1"	15' - 6"	15' - 6"	13' - 1"
	2x12	18' - 0"	18' - 0"	15' - 5"	18' - 0"	18' - 0"	15' - 5"
Douglas Fir-Larch, Hem-Fir, SPF ³	2x8	12' - 6"	11' - 1"	9' - 1"	9' - 5"	9' - 5"	9' - 1"
	2x10	15' - 8"	13' - 7"	11' - 1"	13' - 7"	13' - 7"	11' - 1"
	2x12	18' - 0"	15' - 9"	12' - 10"	18' - 0"	15' - 9"	12' - 10"
Redwood, Western Cedars, Ponderosa Pine ⁴ , Red Pine ⁴	2x8	11' - 8"	10' - 7"	8' - 8"	8' - 6"	8' - 6"	8' - 6"
	2x10	14' - 11"	13' - 0"	10' - 7"	12' - 3"	12' - 3"	10' - 7"
	2x12	17' - 5"	15' - 1"	12' - 4"	16' - 5"	15' - 1"	12' - 4"

1. Assumes 40 psf live load, 10 psf dead load, L/360 deflection, No. 2 grade, and wet service conditions. See Figure 1B.
2. Assumes 40 psf live load, 10 psf dead load, L/180 cantilever deflection with 220 lb point load, No. 2 grade, and wet service conditions. See Figure 1A and Figure 2.
3. Incising assumed for refractory species including Douglas fir-larch, hem-fir, and spruce-pine-fir.
4. Design values based on northern species with no incising assumed.

Figure 1A. Joist Span – Deck Attached at House and Bearing Over Beam

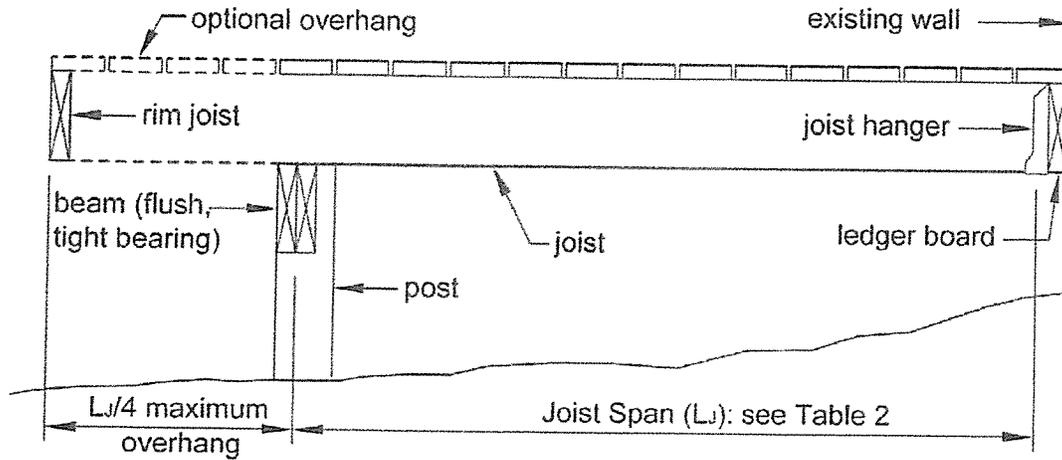


Figure 1B. Joist Span – Joists Attached at House and to Side of Beam

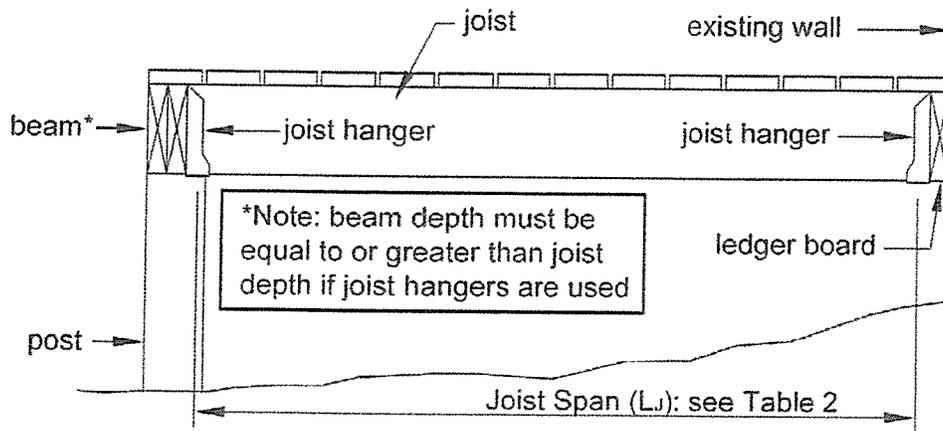
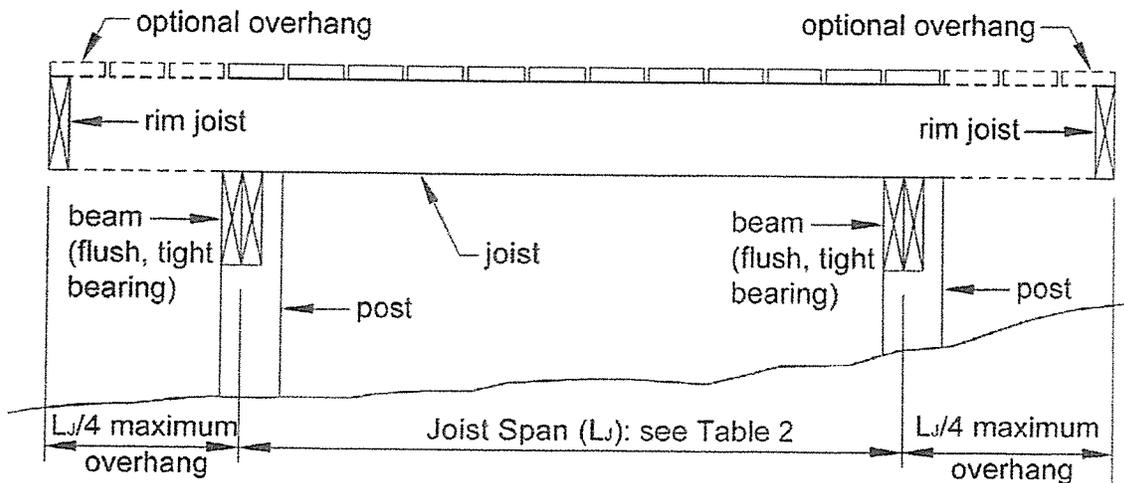


Figure 2. Joist Span – Free Standing Deck



BEAM SIZE & ASSEMBLY REQUIREMENTS

Deck beam spans shall be in accordance with Table 3 and can extend past the post centerline up to $L_B/4$ as shown in Figure 3. Joists may bear on the beam and extend past the beam centerline up to $L_J/4$ as shown in Figures 1A and 2, or the joists may attach to the side of the beam with joist hangers as shown in Figure 1B.

Joists shall not frame in from opposite sides of the same beam. See JOIST-TO-BEAM CONNECTION details, Figure 6.

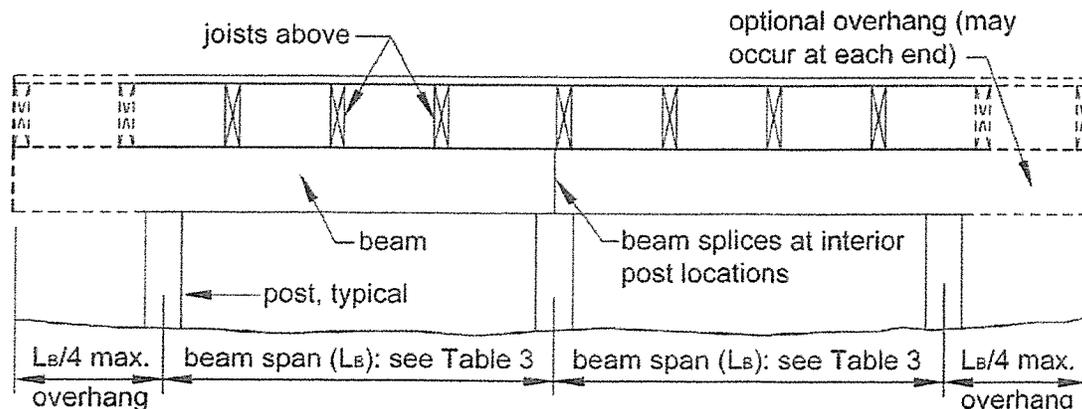
Where multiple 2x members are used, the deck's beam is assembled by attaching the members identified in Table 3 in accordance with Figure 4. [Table R602.3(1)]

Table 3. Deck Beam Spans (L_B)¹ for Joists Framing from One Side Only

Species	Size ⁴	Joist Spans (L_J) Less Than or Equal to:						
		6'	8'	10'	12'	14'	16'	18'
Southern Pine	2-2x6	7' - 1"	6' - 2"	5' - 6"	5' - 0"	4' - 8"	4' - 4"	4' - 1"
	2-2x8	9' - 2"	7' - 11"	7' - 1"	6' - 6"	6' - 0"	5' - 7"	5' - 3"
	2-2x10	11' - 10"	10' - 3"	9' - 2"	8' - 5"	7' - 9"	7' - 3"	6' - 10"
	2-2x12	13' - 11"	12' - 0"	10' - 9"	9' - 10"	9' - 1"	8' - 6"	8' - 0"
	3-2x6	8' - 7"	7' - 8"	6' - 11"	6' - 3"	5' - 10"	5' - 5"	5' - 2"
	3-2x8	11' - 4"	9' - 11"	8' - 11"	8' - 1"	7' - 6"	7' - 0"	6' - 7"
	3-2x10	14' - 5"	12' - 10"	11' - 6"	10' - 6"	9' - 9"	9' - 1"	8' - 7"
Douglas Fir- Larch ² , Hem-Fir ² , SPF ² , Redwood, Western Cedars, Ponderosa Pine ³ , Red Pine ³	3-2x12	17' - 5"	15' - 1"	13' - 6"	12' - 4"	11' - 5"	10' - 8"	10' - 1"
	3x6 or 2-2x6	5' - 5"	4' - 8"	4' - 2"	3' - 10"	3' - 6"	3' - 1"	2' - 9"
	3x8 or 2-2x8	6' - 10"	5' - 11"	5' - 4"	4' - 10"	4' - 6"	4' - 1"	3' - 8"
	3x10 or 2-2x10	8' - 4"	7' - 3"	6' - 6"	5' - 11"	5' - 6"	5' - 1"	4' - 8"
	3x12 or 2-2x12	9' - 8"	8' - 5"	7' - 6"	6' - 10"	6' - 4"	5' - 11"	5' - 7"
	4x6	6' - 5"	5' - 6"	4' - 11"	4' - 6"	4' - 2"	3' - 11"	3' - 8"
	4x8	8' - 5"	7' - 3"	6' - 6"	5' - 11"	5' - 6"	5' - 2"	4' - 10"
	4x10	9' - 11"	8' - 7"	7' - 8"	7' - 0"	6' - 6"	6' - 1"	5' - 8"
	4x12	11' - 5"	9' - 11"	8' - 10"	8' - 1"	7' - 6"	7' - 0"	6' - 7"
	3-2x6	7' - 4"	6' - 8"	6' - 0"	5' - 6"	5' - 1"	4' - 9"	4' - 6"
3-2x8	9' - 8"	8' - 6"	7' - 7"	6' - 11"	6' - 5"	6' - 0"	5' - 8"	
3-2x10	12' - 0"	10' - 5"	9' - 4"	8' - 6"	7' - 10"	7' - 4"	6' - 11"	
3-2x12	13' - 11"	12' - 1"	10' - 9"	9' - 10"	9' - 1"	8' - 6"	8' - 1"	

1. Assumes 40 psf live load, 10 psf dead load, L/360 simple span beam deflection limit, L/180 cantilever deflection limit, No. 2 grade, and wet service conditions.
2. Incising assumed for refractory species including Douglas fir-larch, hem-fir, and spruce-pine-fir.
3. Design values based on northern species with no incising assumed.
4. Beam depth must be equal to or greater than joist depth if joist hangers are used (see Figure 6, Option 3).

Figure 3: Beam Span Types

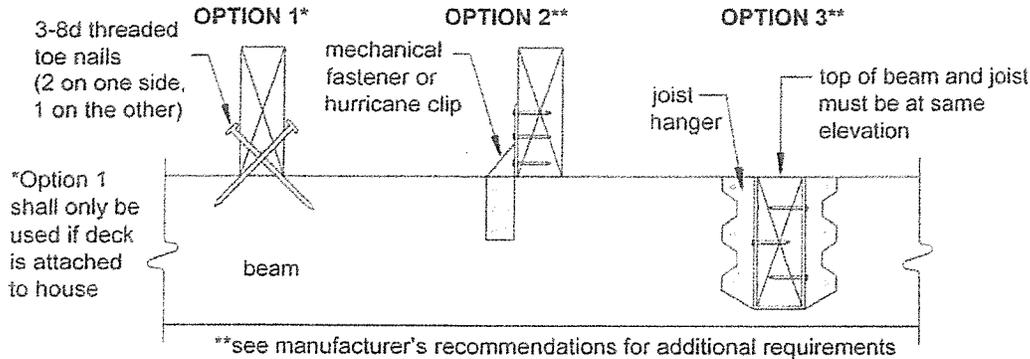


JOIST-TO-BEAM CONNECTION

Each joist shall be attached to the beam as shown in Figure 6. Joists may bear on and overhang past the beam a maximum of $L_j/4$. Use Option 1 or Option 2 to attach the joist to the beam. Option 1 shall only be used if the deck is attached to the house with a ledger (see LEDGER ATTACHMENT REQUIREMENTS) or as shown in Figure 23. Mechanical fasteners or hurricane

clips used as shown in Option 2 must have a minimum capacity of 100 lbs in both uplift and lateral load directions. Joists may also attach to the side of the beam with joist hangers per Option 3. Joists shall not frame in from opposite sides of the same beam. See JOIST HANGERS for more information. Hangers, clips, and mechanical fasteners shall be galvanized or stainless steel (see MINIMUM REQUIREMENTS).

Figure 6: Joist-to-Beam Detail



JOIST HANGERS

Joist hangers, as shown in Figure 7, shall each have a minimum download capacity in accordance with Table 3A. The joist hanger shall be selected from an approved manufacturer's product data based on the dimensions of the joist or header it is carrying. Joist hangers shall be galvanized or stainless steel (see MINIMUM REQUIREMENTS).

Use joist hangers with inside flanges when clearances to the edge of the beam or ledger board dictate. Do not use clip angles or brackets to support joists.

Figure 7: Typical Joist Hangers

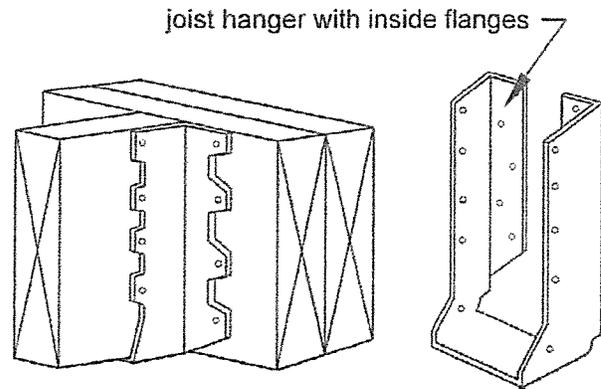


Table 3A: Joist Hanger Download Capacity

Joist Size	Minimum Capacity, lbs
2x8 600	
2x10 700	
2x12 800	

POST REQUIREMENTS

All deck post sizes shall be 6x6 (nominal) or larger, and the maximum height shall be 14'-0" measured to the underside of the beam. Posts shall be centered on footings. Cut ends of posts shall be field treated with an approved preservative (such as copper naphthenate) [R402.1.2]. The beam shall be attached to the post by

notching the 6x6 as shown in Figure 8 or by providing an approved post cap to connect the beam and post as shown in Figure 10. All 3-ply beams shall be connected to the post by a post cap. All thru-bolts shall have washers under the bolt head and nut. Attachment of the beam to the side of the post without notching is prohibited (see Figure 9).

Figure 8. Post-to-Beam Attachment Requirements

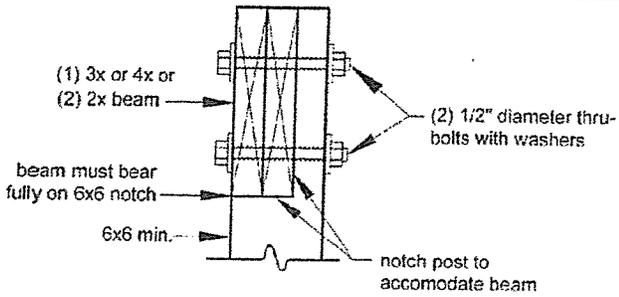
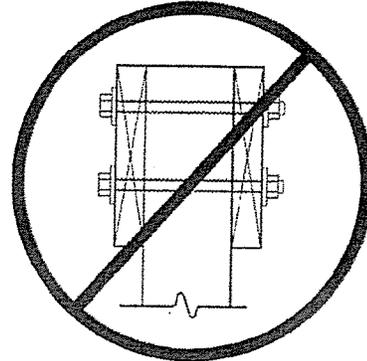


Figure 9. Prohibited Post-to-Beam Attachment Condition



RIM JOIST REQUIREMENTS

Attach a continuous rim joist to the ends of joists as shown in Figure 11. Attach decking to the rim joist as shown in Figure 11. For more decking attachment requirements, see DECKING REQUIREMENTS.

Figure 10. Alternate Approved Post-to-Beam Post Cap Attachment

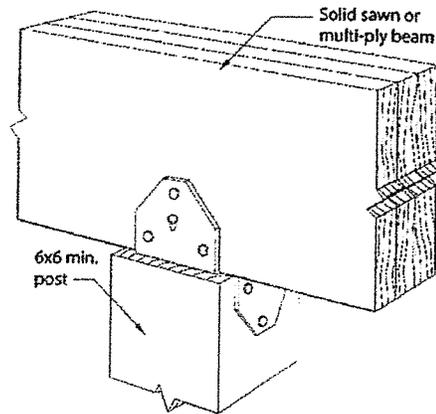
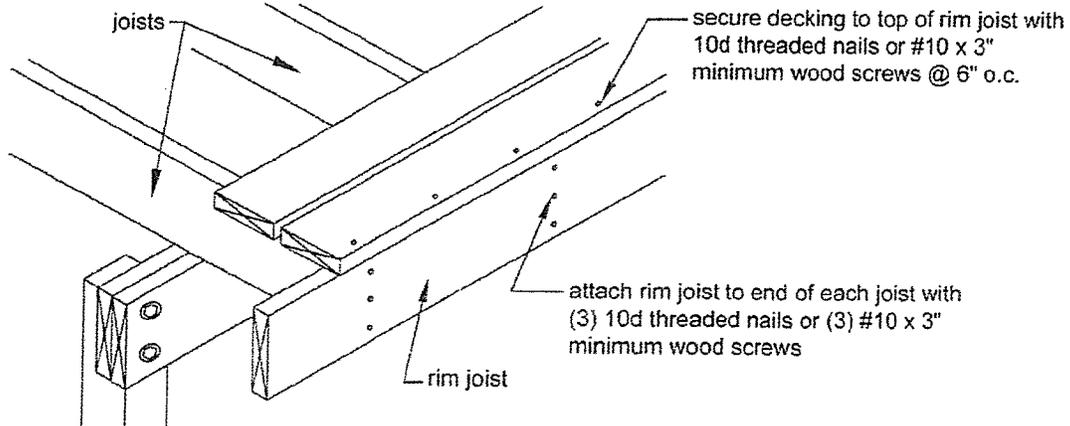


Figure 11. Rim Joist Connection Details



FOOTINGS [R403]

See Figure 12 and Table 4 for footing size, footing thickness, and post attachment options and requirements. All footings shall bear on solid ground and shall be placed at least 12 inches below the undisturbed ground surface or below the frost line, whichever is deeper. Contact the authority having jurisdiction to determine the specified frost line. Bearing conditions shall be verified in the field by the building official prior to placement of concrete. Where the building official determines that in-place soils with an allowable bearing capacity of less than 1,500 psf are likely to be present at the site, the allowable bearing capacity shall be determined by a soils investigation. **DECK FOOTINGS CLOSER THAN 5'-0" TO AN EXISTING EXTERIOR HOUSE WALL MUST BEAR AT THE SAME ELEVATION AS THE FOOTING OF THE EXISTING HOUSE FOUNDATION.**

Do not construct footings over utility lines or enclosed meters. Contact local utilities (call 811) before digging.

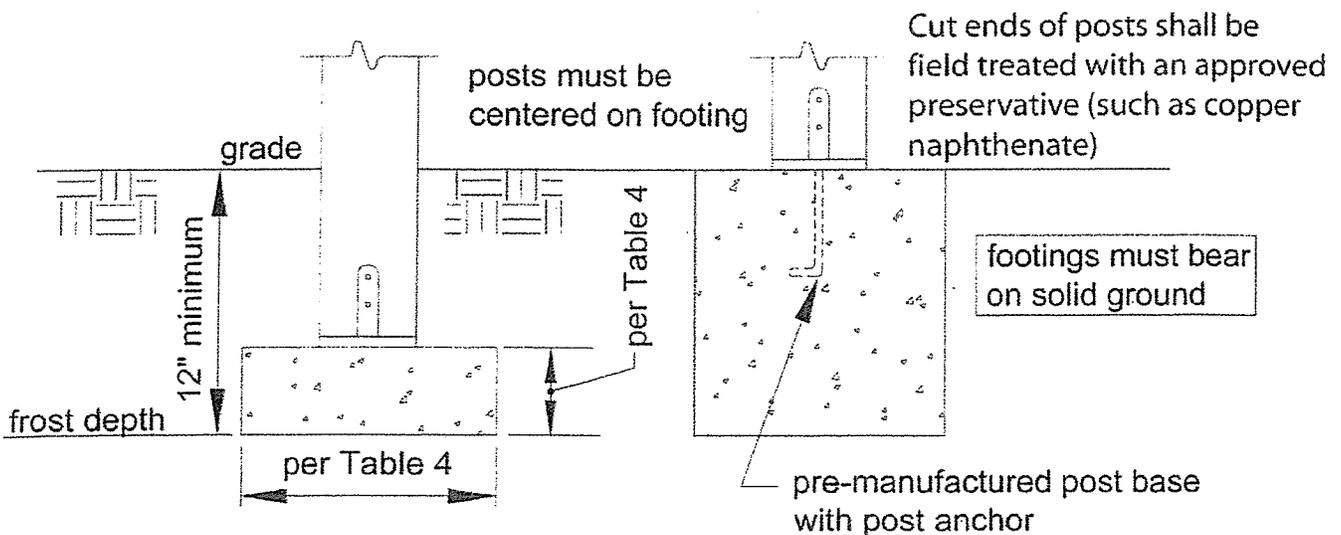
Pre-manufactured post anchors shall be galvanized. See MINIMUM REQUIREMENTS.

Table 4. Footing Sizes¹

Beam Span, L _B	Joist Span, L _J	Round Footing Diameter	Square Footing Dimension	Footing Thickness ²
6'	<10'	15"	13"	6"
	<14'	17"	15"	6"
	<18'	20"	18"	7"
8'	<10'	17"	15"	6"
	<14'	20"	18"	8"
	<18'	23"	21"	9"
10'	<10'	19"	17"	7"
	<14'	22"	20"	9"
	<18'	25"	23"	10"
12'	<10'	21"	19"	8"
	<14'	24"	22"	10"
	<18'	28"	26"	11"
14'	<10'	22"	20"	9"
	<14'	26"	24"	11"
	<18'	30"	28"	12"
16'	<10'	24"	22"	9"
	<14'	28"	26"	12"
	<18'	32"	30"	13"
18'	<10'	25"	23"	10"
	<14'	30"	28"	12"
	<18'	34"	32"	14"

1. Assumes 1,500 psf soil bearing capacity.
2. Assumes 2,500 psi compressive strength of concrete. Coordinate footing thickness with post base and anchor requirements.

Figure 12. Typical Footing Options



LEDGER ATTACHMENT REQUIREMENTS **[R502.2.2]**

GENERAL: Attach the ledger board, which shall be equal to or greater than the deck joist depth but less than or equal to the rim joist depth, to the existing exterior wall in accordance with Figure 14 through Figure 16. When attachments are made to the existing house band joist, the band joist shall be capable of supporting the new deck. If this cannot be verified or conditions at the existing house differ from the details herein, then either a free-standing deck or full plan submission is required. See **FREE-STANDING DECKS**.

SIDING AND FLASHING: House siding or the exterior finish system must be removed prior to installation of the ledger board. Approved corrosion resistant flashing is required at any ledger board connection to a wall of wood framed construction (see **MINIMUM REQUIREMENTS**). See Figure 14 for continuous flashing with drip edge. The threshold shall be carefully flashed and caulked to prevent water intrusion due to splash from the deck or melting snow and ice.

MANUFACTURED WOOD I-JOIST: The term “I-Joist” denotes manufactured wood “I” joists (see Figure 13A). Many new homes constructed with wood I-joists

include 1” or thicker engineered wood products (EWP) – such as oriented strand board (OSB) or structural composite lumber (SCL) including laminated veneer lumber (LVL) – as band joists (or rim boards) that can support the attachment of a deck (see Figure 14). However, some older homes might be constructed with band boards that are too thin (less than 1”) to support a deck. In such cases, a free-standing deck or a full plan submission is required.

MANUFACTURED WOOD TRUSS: A metal plate connected wood truss (MPCWT) is an engineered, prefabricated structural component designed for each specific application. MPCWT’s used in residential floors are often installed with a 2x4 lumber “ribbon” at the ends of the trusses (see Figure 13B) to tie the ends of the trusses together. The ribbon board, by itself, is not intended to support the deck ledger and deck. Installing residential decks when the floor system for the house uses MPCWT requires a standard detail provided by the truss designer, a free-standing deck, or a full plan submission. Refer to the WTCA Technical Note – *Attachment of Residential Decks to Wood Truss Floor Systems* for special blocking details and attachment requirements (www.sbcindustry.com).

Figure 13A. Wood I-Joist Profile

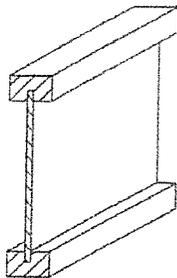


Figure 13B. Metal Plate Connected (MPC) Wood Floor Trusses with a 2x4 Lumber “Ribbon” at the Ends of the Trusses

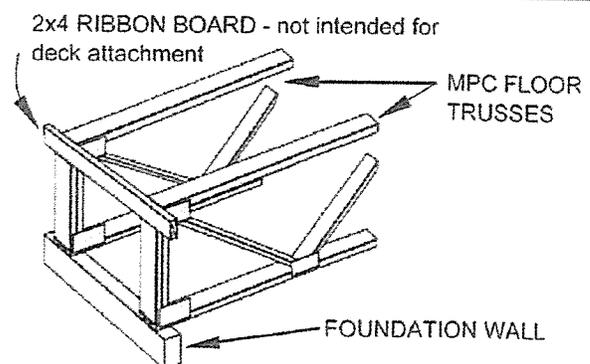


Figure 14. General Attachment of Ledger Board to Band Joist or Rim Board

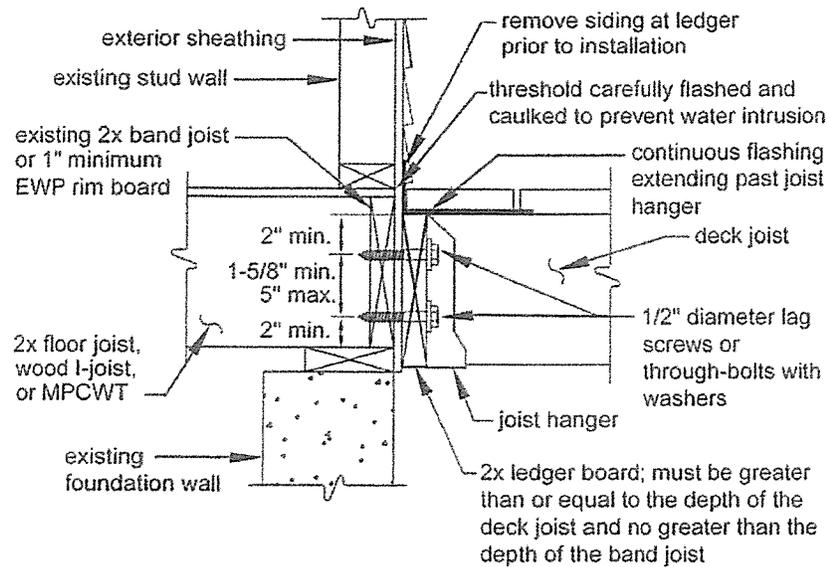


Figure 15. Attachment of Ledger Board to Foundation Wall (Concrete or Solid Masonry)

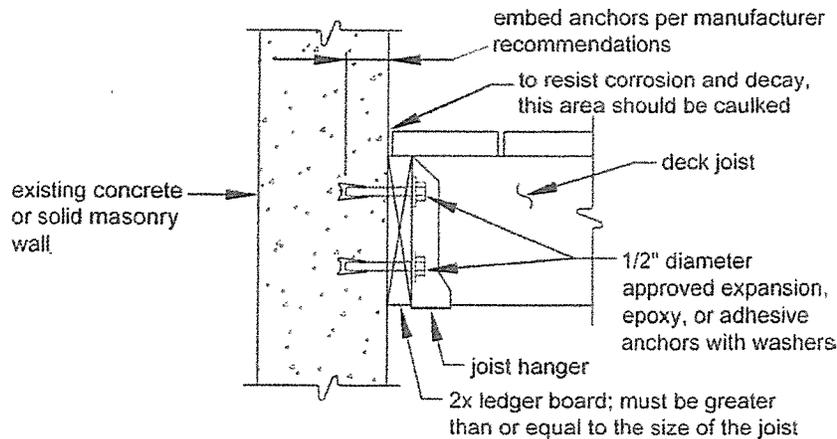
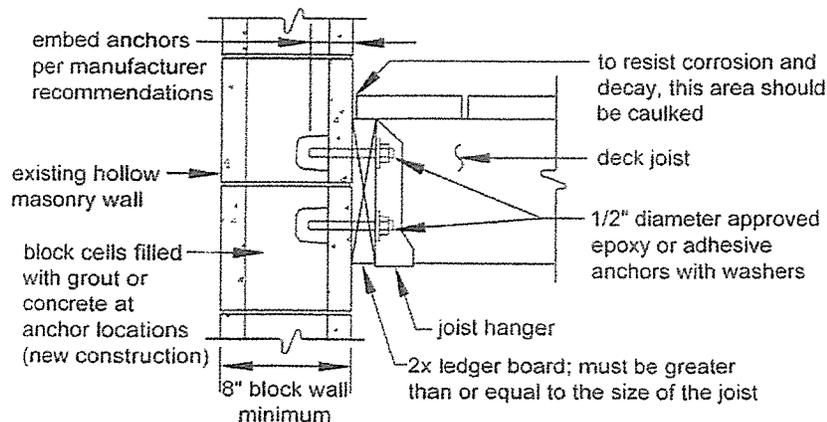


Figure 16. Attachment of Ledger Board to Foundation Wall (Hollow Masonry)



PROHIBITED LEDGER ATTACHMENTS

Attachments to exterior veneers (brick, masonry, stone) and to cantilevered floor overhangs or bay windows are prohibited (see Figures 17 and 18). In such cases the

deck shall be free-standing (see FREE-STANDING DECKS).

Figure 17. No Attachment to or Through Exterior Veneers (Brick, Masonry, Stone)

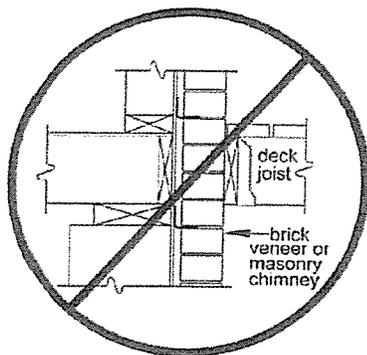
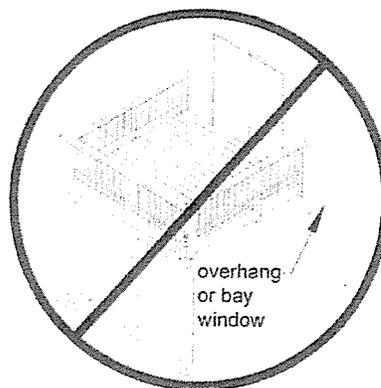


Figure 18. No Attachment to House Overhang



LEDGER BOARD FASTENERS

Only those fasteners noted below are permitted. LEAD ANCHORS ARE PROHIBITED.

nominal lumber band joist (1-1/2" actual) or EWP rim board bearing on a sill plate or wall plate shall be constructed with 1/2" lag screws or bolts with washers per Table 5 and Figure 19 (see MINIMUM REQUIREMENTS).

Deck ledger connection to band joist or rim board.
The connection between a deck ledger and a 2-inch

Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger and a 2-inch Nominal Solid-Sawn Spruce-Pine-Fir^{7,9} Band Joist or EWP Rim Board⁶
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)^{3,6}

Joist Span	Rim Board or Band Joist	6'-0"	6'-1"	8'-1"	10'-1"	12'-1"	14'-1"	16'-1"
		and less	to 8'-0"	to 10'-0"	to 12'-0"	to 14'-0"	to 16'-0"	to 18'-0"
Connection Details		On-Center Spacing of Fasteners^{4,5}						
1/2" diameter lag screw with 15/32" maximum sheathing ¹	1" EWP ⁶	24"	18"	14"	12"	10"	9"	8"
	1-1/8" EWP ⁶	28"	21"	16"	14"	12"	10"	9"
	1-1/2" Lumber ^{7,9}	30"	23"	18"	15"	13"	11"	10"
1/2" diameter bolt with 15/32" maximum sheathing	1" EWP ⁶	24"	18"	14"	12"	10"	9"	8"
	1-1/8" EWP ⁶	28"	21"	16"	14"	12"	10"	9"
	1-1/2" Lumber ^{7,9}	36"	36"	34"	29"	24"	21"	19"
1/2" diameter bolt with 15/32" maximum sheathing and 1/2" stacked washers ^{2,8}	1" EWP ⁶	24"	18"	14"	12"	10"	9"	8"
	1-1/8" EWP ⁶	28"	21"	16"	14"	12"	10"	9"
	1-1/2" Lumber ^{7,9}	36"	36"	29"	24"	21"	18"	16"

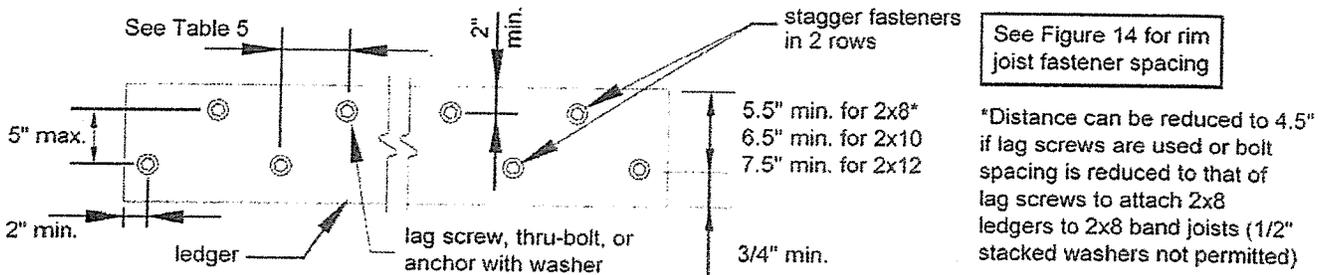
¹ The tip of the lag screw shall fully extend beyond the inside face of the band joist.
² The maximum gap between the face of the ledger board and face of the wall sheathing shall be 1/2".
³ Ledgers shall be flashed or caulked to prevent water from contacting the house band joist (see Figures 14, 15, and 16).
⁴ Lag screws and bolts shall be staggered per Figure 19.
⁵ Deck ledgers shall be minimum 2x8 pressure-preservative-treated No.2 grade lumber, or other approved materials as established by standard engineering practice.
⁶ When solid-sawn pressure-preservative-treated deck ledgers are attached to engineered wood products (minimum 1" thick wood structural panel band joist or structural composite lumber including laminated veneer lumber), the ledger attachment shall be designed in accordance with accepted engineering practice. Tabulated values based on 300 lbs and 350 lbs for 1" and 1-1/8" EWP rim board, respectively.
⁷ A minimum 1"x9 1/2" Douglas fir-larch laminated veneer lumber rim board shall be permitted in lieu of the 2" nominal band joist.
⁸ Wood structural panel sheathing, gypsum board sheathing, or foam sheathing not exceeding one inch thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be one inch.
⁹ Fastener spacing also applies to southern pine, Douglas fir-larch, and hem-fir band joists.

Placement of lag screws or bolts in deck ledgers

The lag screws or bolts shall be placed as shown in Figure 19. The lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of

the deck ledger (see Figure 19). Proper installation of lag screws or bolts shall be verified by the authority having jurisdiction.

Figure 19: Ledger Board Fastener Spacing and Clearances



Thru-Bolts

Thru-bolts shall have a diameter of 1/2". Pilot holes for thru-bolts shall be 17/32" to 9/16" in diameter. Thru-bolts require washers at the bolt head and nut.

Minimum spacing and embedment length shall be per the manufacturer's recommendations. All anchors must have washers.

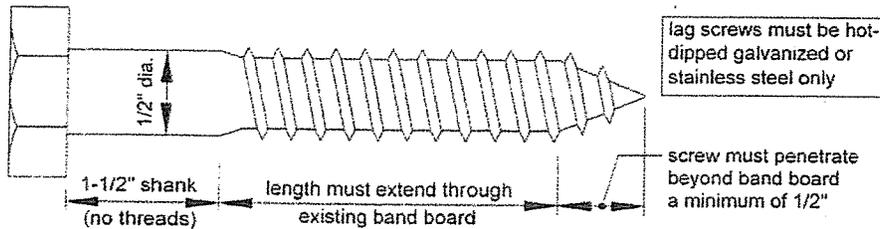
Expansion and Adhesive Anchors

Use approved expansion or adhesive anchors when attaching a ledger board to a concrete or solid masonry wall as shown in Figure 15 or a hollow masonry wall with a grouted cell as shown in Figure 16. Expansion and adhesive anchor bolts shall have a diameter of 1/2".

Lag Screws

Lag screws shall have a diameter of 1/2" (see MINIMUM REQUIREMENTS). Lag screws may be used only when the field conditions conform to those shown in Figure 14. See Figure 20 for lag screw length and shank requirements. All lag screws shall be installed with washers.

Figure 20: Lag Screw Requirements



Lag screw installation requirements: Each lag screw shall have pilot holes drilled as follows: 1) Drill a 1/2" diameter hole in the ledger board, 2) Drill a 5/16" diameter hole into the band board of the existing house. **DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE BAND BOARD.**

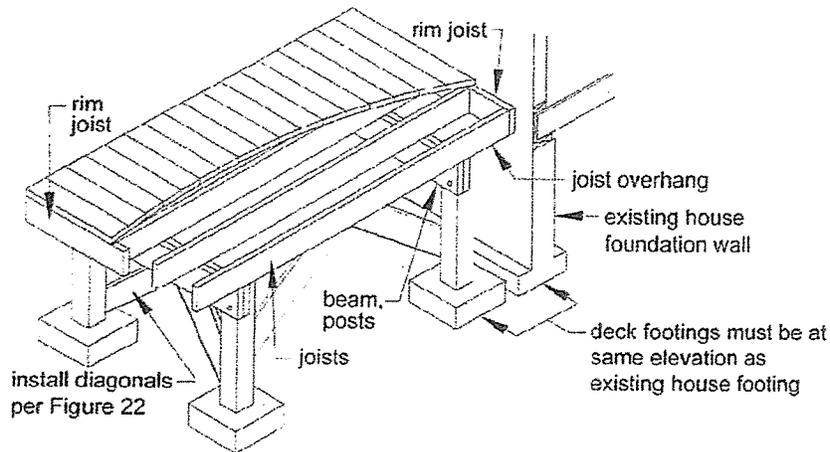
The threaded portion of the lag screw shall be inserted into the pilot hole by turning. **DO NOT DRIVE LAG SCREWS WITH A HAMMER.** Use soap or a wood-compatible lubricant as required to facilitate tightening. Each lag screw shall be thoroughly tightened (snug but not over-tightened to avoid wood damage).

FREE-STANDING DECKS

Decks which are free-standing do not utilize the exterior wall of the existing house to support vertical loads (see Figure 21); instead, an additional beam with posts is provided at or within L/4 of the existing house. THE ASSOCIATED DECK POST FOOTINGS SHALL BE PLACED AT THE SAME ELEVATION AS THE

EXISTING HOUSE FOOTING IF LOCATED CLOSER THAN 5'-0" TO AN EXISTING HOUSE WALL (see Figure 2 and Figure 12). For houses with basements, a cylindrical footing (caisson) is recommended to minimize required excavation at the basement wall. Beam size is determined by Table 3.

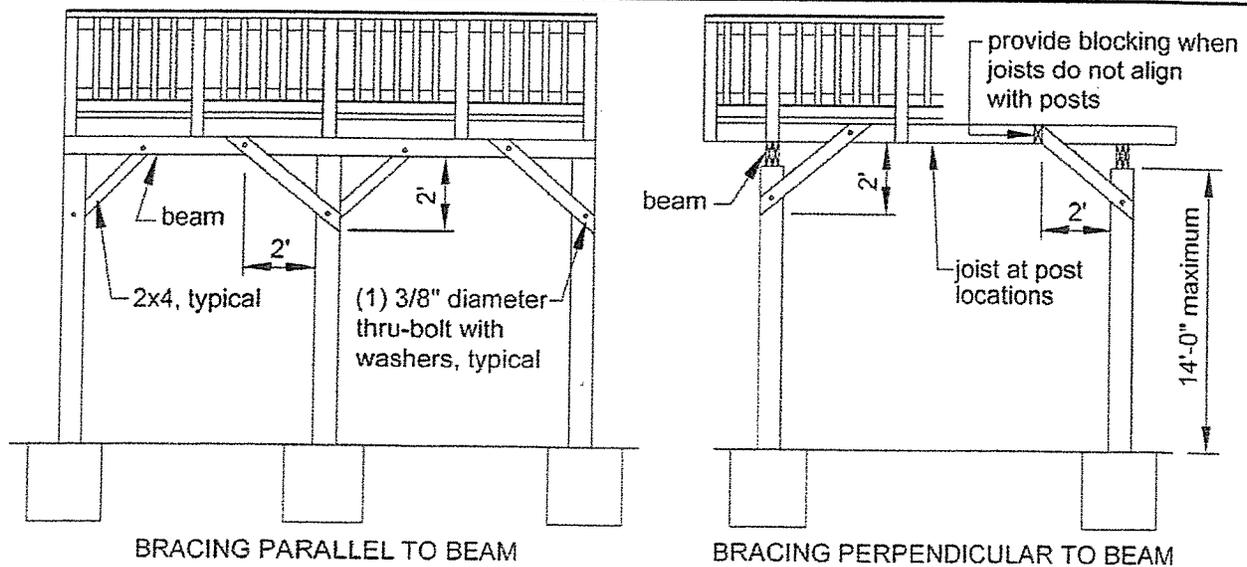
Figure 21. Free-Standing Deck



DECK STABILITY

Decks greater than 2 feet above grade shall be provided with diagonal bracing.

Figure 22. Diagonal Bracing Requirements



Diagonal Bracing: Provide diagonal bracing both parallel and perpendicular to the beam at each post as shown in Figure 22. When parallel to the beam, the bracing shall be bolted to the post at one end and beam at the other. When perpendicular to the beam, the bracing shall be bolted to the post at one end and a joist or blocking between joists at the other. When a joist does not align with the bracing location, provide blocking between the adjacent joists. Decks attached to the house as shown in Figure 23A do not require diagonal bracing perpendicular to the house. Diagonal bracing parallel to the house may be omitted at the beam adjacent to the house for a free-standing deck attached as shown in Figure 23.

Free-standing Deck - Attachment to House: Attach the deck rim joist to the existing house exterior wall as shown in Figure 23 for a free-standing deck. The wall must be sheathed with minimum 3/8" wood structural panel sheathing. Use lag screws or thru-bolts when fastening to an existing band joist or wall stud; use expansion anchors or epoxy anchors when fastening to

concrete or masonry. **DO NOT ATTACH TO BRICK VENEERS. VERIFY THIS CONDITION IN THE FIELD PRIOR TO UTILIZING THIS METHOD.** Fasteners shall be 16" on center and staggered in 2 rows for free-standing decks. Flashing over the rim joist is required and must be installed in accordance with the flashing provisions in the LEDGER ATTACHMENT REQUIREMENTS.

Deck Supported by Ledger - Attachment to House: Where supported by attachment to an exterior wall (Figures 14, 15, or 16), decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable [R502.2.2]. The lateral load connection required shall be permitted to be in accordance with Figure 23A. Hold down tension devices shall be provided in not less than two locations per deck, and each device shall have an allowable stress design capacity of not less than 1,500 lb [R502.2.2.3]. See the *Commentary* to this document for additional information on applicability of this provision.

Figure 23. Attachment of Free-Standing Deck to House for Deck Stability

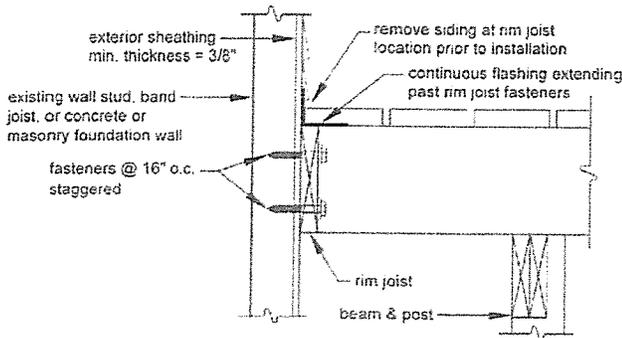
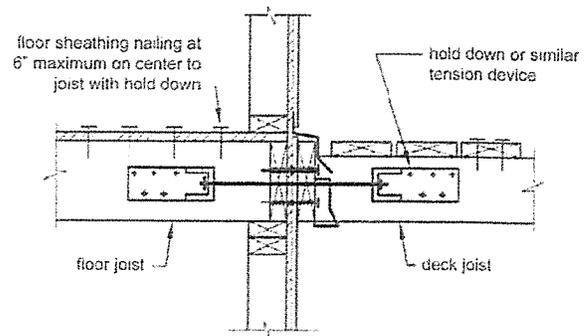


Figure 23A. Example of a Lateral Load Device for a Deck Attached to a House with a Ledger

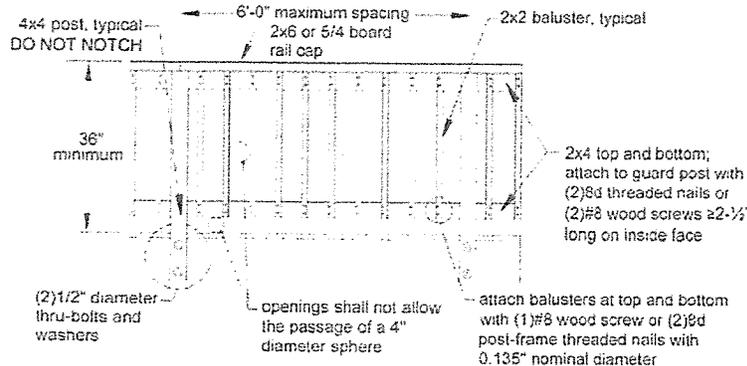


GUARD REQUIREMENTS

All decks greater than 30" above grade are required to have a guard [R312.1] - one example is shown in Figure

24. Other methods and materials may be used for guard construction when approved by the authority having jurisdiction.

Figure 24. Example Guard Detail



GUARD POST ATTACHMENTS

Deck guard posts shall be a minimum 4x4 (nominal) with an adjusted bending design value not less than 1,100 psi.

Guard posts for guards which run parallel to the deck joists shall be attached to the outside joist per Figure 25. Guard posts for guards that run perpendicular to the deck

joists shall be attached to the rim joist in accordance with Figure 26. Only hold down anchor models meeting these minimum requirements shall be used. Hold down anchors shall have a minimum allowable tension load of 1,800 pounds for a 36" maximum rail height and be installed in accordance with the manufacturer's instructions.

Figure 25. Guard Post to Outside Joist Example

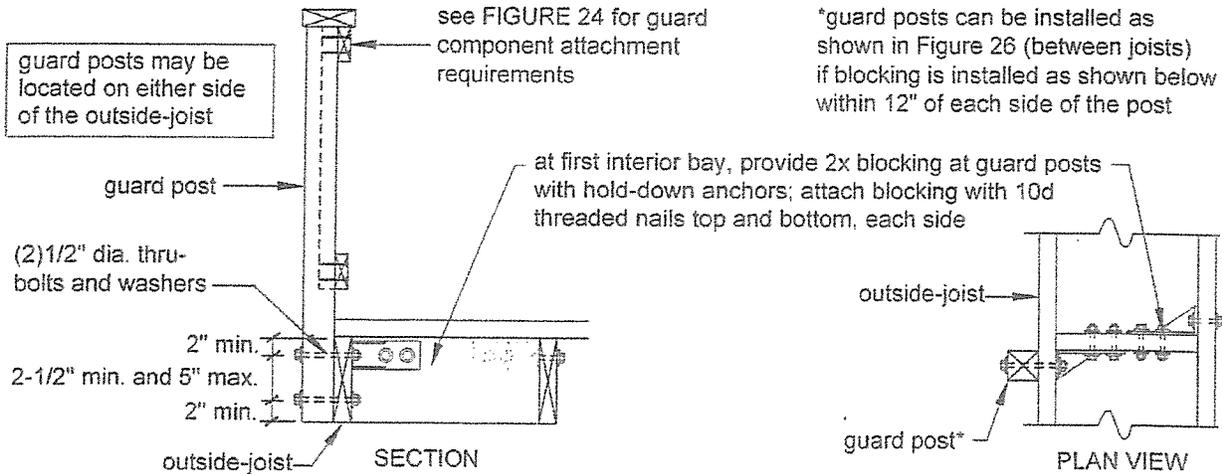
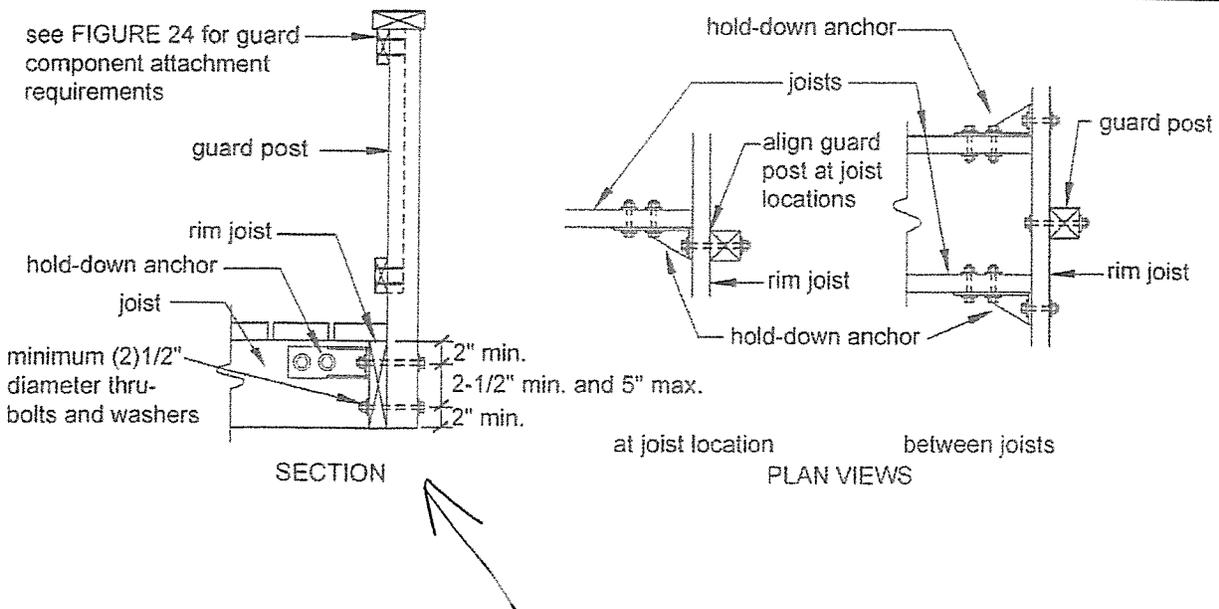


Figure 26. Guard Post to Rim Joist Example



STAIR REQUIREMENTS

Stairs, stair stringers, and stair guards shall meet the requirements shown in Figure 27 through Figure 34 and Table 6 except where amended by the local jurisdiction. All stringers shall be a minimum of 2x12. Stair stringers shall not span more than the dimensions shown in Figure 28. If the stringer span exceeds these dimensions, then a 4x4 post may be provided to support the stringer and shorten its span length. The 4x4 post shall be notched and bolted to the stringer with (2) 1/2" diameter through-bolts with washers per Figure 8. The post shall be centered on a 12" diameter or 10" square, 6" thick footing. The footing shall be constructed as shown in Figure 34 and attached to the post as shown in Figure 12. An intermediate landing may also be provided to shorten

the stringer span (see provisions below). If the total vertical height of a stairway exceeds 12'-0", then an intermediate landing shall be required. All intermediate stair landings must be designed and constructed as a free-standing deck using the details in this document. Stairs shall be a minimum of 36" in width as shown in Figure 33 [R311.7]. If only cut stringers are used, a minimum of three are required. For stairs greater than 36" in width, a combination of cut and solid stringers can be used, but shall be placed at a maximum spacing of 18" on center (see Figure 29). The width of each landing shall not be less than the width of the stairway served. Every landing shall have a minimum dimension of 36" measured in the direction of travel and no less than the width of the stairway served [R311.7].

Figure 27. Tread and Riser Detail

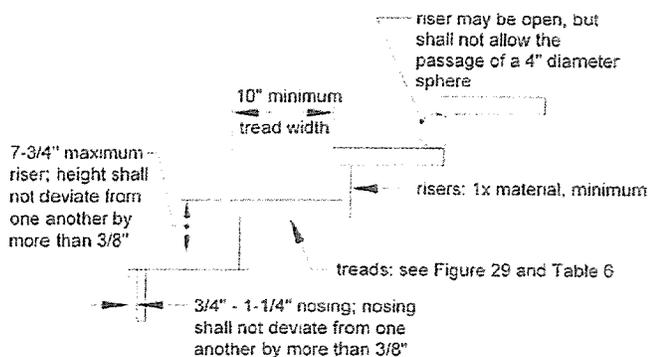


Figure 28. Stair Stringer Requirements

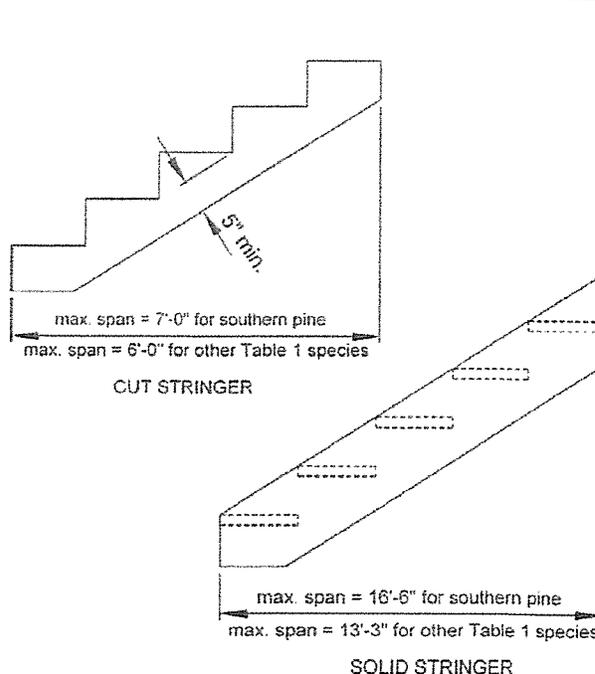


Figure 29. Tread Connection Requirements

Attachment per tread at each stringer or ledger:
 2x_ or 5/4 treads - (2)#8 threaded nails or (2)#8 screws ≥2-1/2" long
 3x_ treads - (2)#16d threaded nails or (2)#8 screws ≥3-1/2" long

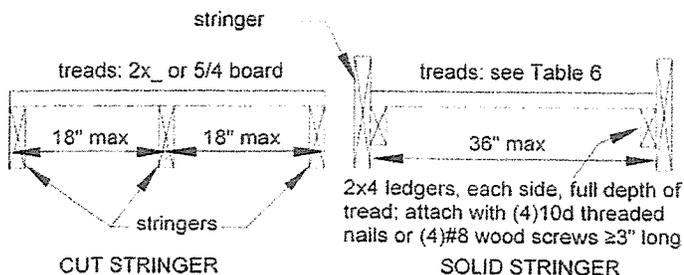


Table 6. Minimum Tread Size for Cut and Solid Stringers¹

Species	Cut Stringer	Solid Stringer
Southern Pine	2x4 or 5/4	2x6
Douglas Fir Larch, Hem-Fir, SPF ²	2x4 or 5/4	2x8 or 3x4
Redwood, Western Cedars, Ponderosa Pine ³ , Red Pine ³	2x4 or 5/4	2x10 or 3x4

1. Assumes 300 lb concentrated load, L/288 deflection limit, No. 2 grade, and wet service conditions.
 2. Incising assumed for refractory species including Douglas fir-larch, hem-fir, and spruce-pine-fir.
 3. Design values based on northern species with no incising assumed.

Figure 30. Stair Guard Requirements

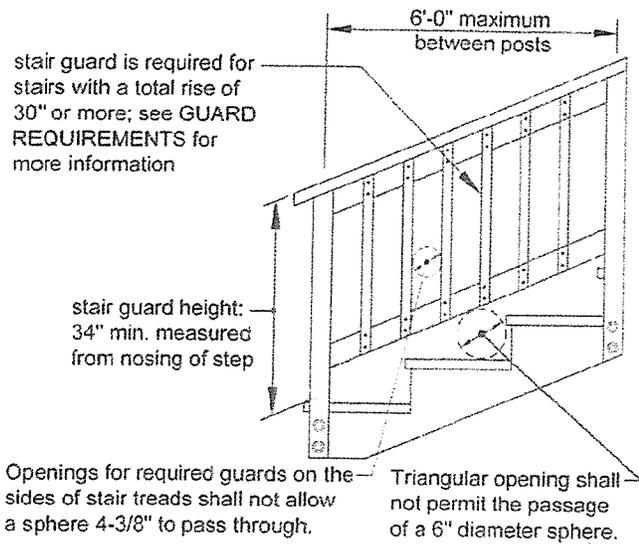
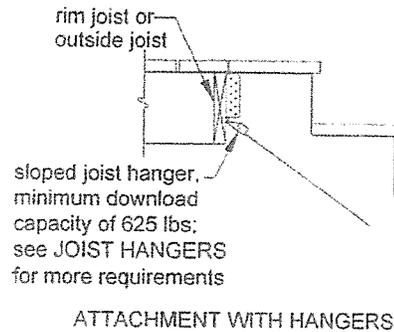


Figure 31. Stair Stringer Attachment Detail



STAIR HANDRAIL REQUIREMENTS

All stairs with 4 or more risers shall have a handrail on at least one side (see Figure 32A) [R311.7.7]. The handrail height measured vertically from the sloped plane adjoining the tread nosing shall be not less than 34 inches and not more than 38 inches (see Figure 30) [R311.7.7.1]. Handrails shall be graspable and shall be composed of decay-resistant and/or corrosion resistant material. Handrails shall be Type I, Type II, or provide equivalent graspability (see Figure 32B). Type I shall have a perimeter dimension of at least 4" and not greater

than 6-1/4". Type II rails with a perimeter greater than 6-1/4" shall provide a graspable finger recess area on both sides of the profile [R311.7.7.3]. All shapes shall have a smooth surface with no sharp corners. Handrails shall run continuously from a point directly over the lowest riser to a point directly over the highest riser and shall return to the guard at each end (see Figure 33). Handrails may be interrupted by guard posts at a turn in the stair [R311.7.7.2].

Figure 32A. Handrail Mounting Examples

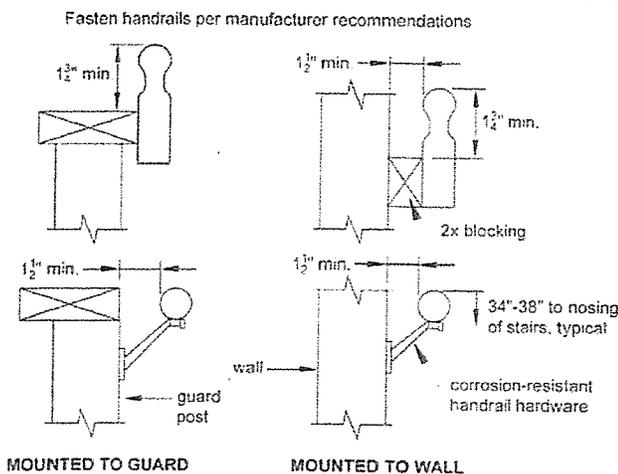
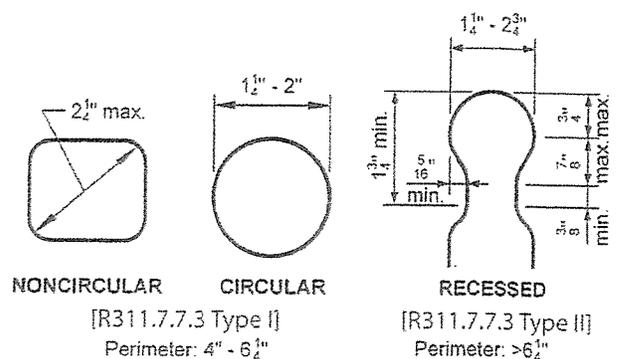


Figure 32B. Handrail Grip Size



STAIR FOOTING REQUIREMENTS [R403]

Where the stairway meets grade, attach the stringers to the stair guard posts as shown in Figure 34. Posts shall bear on footings. All footings shall bear on solid ground and shall be placed at least 12 inches below the undisturbed ground surface or below the frost line, whichever is deeper (see Figure 34). Stringers shall bear on a 2x4 bearing block attached to the post as shown. Stringers shall not bear on new or existing concrete pads or patios that are not founded below this depth. When guards are not required (see GUARD

REQUIREMENTS), posts may terminate below the bottom tread elevation. Bolts are only required if a guard post is required.

STAIR LIGHTING REQUIREMENTS [R303.6]

Stairways shall have a light source located at the top landing such that all stairs and landings are illuminated. The light switch shall be operated from inside the house. However, motion detected or timed switches are acceptable.

Figure 33. Miscellaneous Stair Requirements

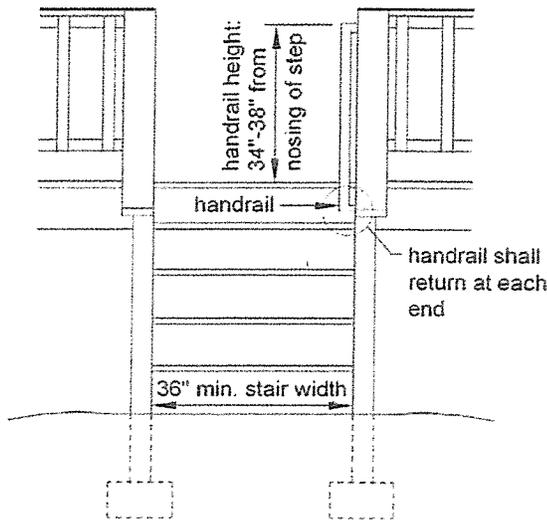
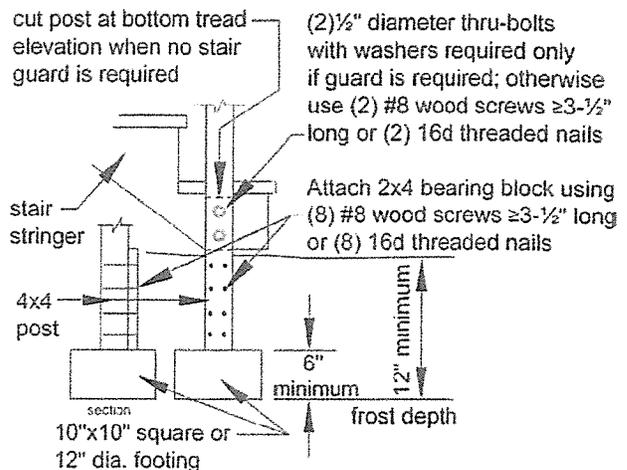


Figure 34. Stair Footing Detail



FRAMING AT CHIMNEY OR BAY WINDOW

All members at a chimney or bay window shall be framed in accordance with Figure 35. Headers may span a maximum of 6'-0". When a chimney or bay window is wider than 6'-0", one or more 6x6 posts may be added to reduce header spans to less than 6'-0". In such cases, the post footing must meet the requirements in the FOOTINGS section. Headers with a span length greater than 6'-0" require a plan submission. Headers shall be located no more than 3'-0" from the end of the trimmer joist.

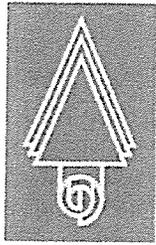
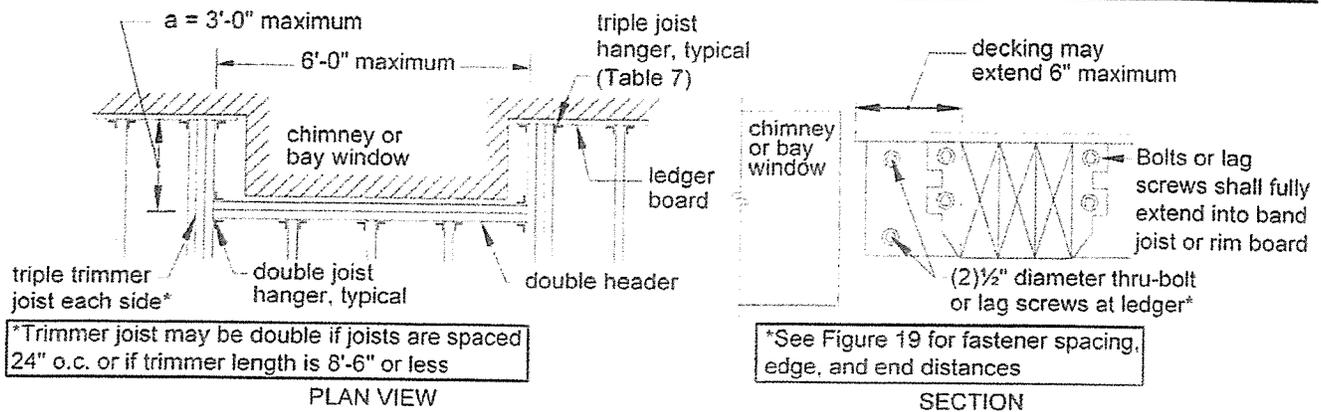
1B. Joist hangers shall each have a minimum download capacity in accordance with Table 7. Bolts or lag screws used to attach the hanger to the ledger shall fully extend through the ledger into the 2-inch nominal lumber band joist (1-1/2" actual) or EWP rim board. Otherwise a freestanding deck is required.

Triple trimmer joists are required on each side of the header if joist spacing is 12" or 16" o.c. or if the trimmer joist span exceeds 8'-6"; otherwise, double trimmer joists are permitted. Trimmer joists may bear on the beam and extend past the beam centerline up to L_p/4 as shown in Figures 1A and 2, or the trimmer joist may attach to the side of the beam with joist hangers as shown in Figure

Table 7. Trimmer Joist Hanger Download Capacity

Joist Size	Minimum Capacity, lbs
2x8	1050
2x10	1380
2x12	1500

Figure 35: Detail for Framing Around a Chimney or Bay Window



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01-10

ROMEOVILLE REINVESTMENT PROGRAM

ACKNOWLEDGMENT AND ACCEPTANCE OF PROGRAM TERMS; RELEASE OF LIABILITY

The undersigned applicant acknowledges filing an application for incentives under the Romeoville Reinvestment Program for residential home improvements or relocation of an existing home based business within Romeoville. By filing the application, the undersigned further acknowledges being made fully aware of and understanding all applicable terms and incentives of the particular incentive for which the applicant has applied. In particular, the undersigned applicant is aware and agrees that only complete and accurate applications will be eligible for potential approval, and that eligible applications will only be approved to the extent of available funding on a first come, first served basis. The Village reserves the right to independently verify all information contained with the undersigned's application, and to deny approval of an application or of funding for a project which is the subject of an application in cases where the application is ultimately found to have contained false, inaccurate or misleading information. In the event that the undersigned applicant's application for a specific incentive is approved by the Village, the undersigned applicant acknowledges sole responsibility for completion of the project that is the subject of the application at its cost, and in compliance with the Romeoville Reinvestment Program terms and conditions applicable to the particular incentive sought by the applicant, and with the otherwise applicable ordinances of the Village. If the undersigned's application is approved, the undersigned further acknowledges that the Village of Romeoville may take photographs, video or other media of the undersigned and/or the project which is the subject of the undersigned's application to the Romeoville Reinvestment Program for use and publication in various publications or media, including but not limited to the Village's website, Village program brochures or materials, and Village or Village informational, promotional or marketing materials, and hereby expressly grants to the Village of Romeoville the right to use and publish such photographs as contemplated herein, all without compensation or payment for such use and publication.

In consideration of being allowed to apply for and be considered for an award of an incentive under the Romeoville Reinvestment Program offered by the Village, the undersigned hereby releases, waives and discharges the Village of Romeoville and its officers, officials, employees, agents, volunteers and contractors (collectively, the "Releasees") from any and all liability and all claims of any kind whatsoever and without limitation, arising or resulting from the undersigned's application to and participation on the Romeoville Reinvestment Program, including but not limited to the construction of the project to which such application and participation relates, or arising from the use or publication by Releasees of photographs, video or other media of the undersigned and/or the project which is the subject of the undersigned's application to the Romeoville Reinvestment Program, whether or not such claims arise from or were caused by the negligence of the Releasees or any of them and further covenant that I shall not sue any of the Releasees with respect to any such liability or claims. In the event that I or anyone else nonetheless makes a claim or files suit against Releasees arising out of any of the above-described matters, I will indemnify and hold Releasees harmless of and from any and all damages or judgments and costs of litigation, including attorney fees. The provisions hereof are to be construed as broadly as possible in favor of Releasees, and this Agreement as a whole shall

be governed by the laws of the State of Illinois (without reference to the conflicts of laws rules thereof). If any part of this Agreement shall be ruled invalid by a court having jurisdiction, the balance shall be enforced to the maximum possible extent. I am signing this Agreement freely and voluntarily, having read and understood it and with a full opportunity to consider its substance and with the intention of fully and unconditionally assuming the risks and releasing the liabilities as described above in this Agreement.

DATE: _____

Printed Applicant Name

Applicant Signature